



Request for Proposal

RFP Release Date: 01/21/2026
Project: Esperanza II – Owner’s Representative
Project Address: 760 Bastrop Hwy SB, Austin, TX. 78741
Owner: The Other Ones Foundation

Dear Bidder,

Your firm is invited to submit a Proposal for the below open-shop scope of work. The following proposal request will outline the project goals and detail the format you should submit your proposal. **For your proposal to be considered, your proposal must meet our deadline due date.**

Please reply to **emily.fesette@toofound.org** to confirm your interest in bidding or advise by return email if you are unable to provide a proposal.

Proposal due: 03/03/2026

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Company Overview

The Other Ones Foundation (TOOF), a 501(c)(3) tax-exempt organization, is an Austin, TX nonprofit that provides extremely low-barrier employment, case management, emergency shelter and humanitarian aid to people experiencing homelessness in Austin, TX.

Abbreviations:

The Other Ones Foundation ("TOOF", "Owner")

Owner's Representative ("OR")

Internal Project Manager ("PM")

General Contractor ("GC")

Non-Congregate Shelter (NCS)

Owner Contacts:

Primary:

Emily Fesette

Project Manager

emily.fesette@toofound.org

Alternate:

Joe Westphal

Chief Operations Officer

joe.westphal@toofound.org

Project Information

1.1 Project Overview

The Other Ones Foundation (TOOF), is launching a critical expansion of its Non-Congregate Shelter (NCS) model through the development of **Esperanza II**, located at **626 Bastrop Hwy SB**, adjacent to its current emergency shelter, Esperanza I. This project aims to construct and provide trauma-informed, service-enriched, non-congregate housing for people experiencing homelessness, aligned with HUD HOME-ARP guidelines.

1.2 Project Purpose

The Esperanza II project will help meet the urgent need for safe, dignified shelter in Austin by constructing a campus that provides both immediate shelter and long-term stabilization services. This effort directly supports the City of Austin's goal of closing the approximately 815-bed shelter gap identified in recent needs assessments.

Guided by principles of trauma-informed design, the project prioritizes safety, privacy, autonomy, and community belonging specifically for individuals impacted by chronic homelessness, displacement, or systemic barriers to housing. In parallel, sustainability and resilience are key drivers of the site and facility design, with attention to long-term environmental performance, operational efficiency, and cost-effectiveness.

1.3 Key Project Components Overview

1. **225 Standalone NCS Units** with in-unit hygiene facilities to promote dignity, safety, and independence.
2. **53,000 sq. ft. Centralized Facility** housing:
 - a. 100 residential units
 - b. Commercial kitchen to serve Esperanza I and II campuses
 - c. Industrial laundry services
 - d. Clinic space for outside partners
 - e. Offices for case management, behavioral health, and workforce development services
 - f. Flexible community spaces to support residents' gatherings, programming, and peer engagement
3. **Comprehensive Site Infrastructure**, including:
 - a. roads, utilities, lighting, green space, fencing, ADA compliant pathways

- b. Landscaped green spaces and designated drainage infrastructure
 - c. CPTED-aligned security features
4. **Wraparound Service Programming**, including staffing, data collection systems, and long-term partnerships with local service providers.
5. **Sustainability Features**, including:
 - a. High-efficiency systems for HVAC, interior water and lighting
 - b. Environmentally conscious materials and site planning
 - c. Design choices that reduce heat island effect, promote retaining water, and support long-term operational resilience

1.4 Timeline Summary

The project is expected to reach major milestones as follows:

1. **TDHCA Contract Finalization:** Spring 2026
2. **Procurement of Subcontractors:** Spring 2026
3. **Design Finalization:** Summer 2026
4. **Permitting & Site Prep:** Spring 2027
5. **NCS Unit & HQ Construction:** Fall 2028
6. **Facility Completion:** Spring 2029
7. **Closeout & Impact Evaluation:** Fall 2029

Owner's Representative Scope of Work

The selected Owner's Representative (OR) will act as an extension of TOOF's internal project team and report directly to the Internal Project Manager (PM). The OR will serve as the primary liaison between TOOF and all subcontractors including design, engineering, and construction teams to ensure the successful delivery of Esperanza II.

2.1 General Responsibilities

- Represent TOOF's interests throughout the design, permitting, procurement, construction, and operational readiness phases.
- Provide strategic oversight and coordination to maintain budget, schedule, quality, and compliance.

- Collaborate with TOOF's Internal Project Manager, who will lead internal TOOF coordination.
- Draft and support external-facing project communications and presentations, subject to TOOF review and approval, and participate in stakeholder meetings as requested to support project alignment and transparency.

2.2 Specific Duties

1. Pre-Construction Phase

- a. Review feasibility studies, environmental reports, and site surveys. Execute any missing reports and surveys as may be required by HUD and/or funder(s). Assist TOOF during the final stages of the TDHCA contract award phase by coordinating and supporting required technical and due diligence documentation. This includes reviewing feasibility, environmental, and survey materials; coordinating any required third-party reports; supporting environmental clearance; maintaining a closing/compliance checklist; and assisting with document packaging for submission. The Owner's Representative will not act as the borrower, certifying authority, or legal signatory.
- b. Manage procurement of architect, civil engineer, and general contractor (GC), and any other necessary subcontractor required for project completion in compliance with funder, HUD and 200 CFR procurement procedures. All procurement packets must be completed and approved in collaboration with TOOF stakeholders.
- c. Assist in overseeing the programming and design phase with the architect to ensure alignment with the Owner's goals for space and size requirements, functional adjacencies, circulation, security and observation needs, accessibility, durability, and operational workflows, with a focus on trauma-informed design, long-term flexibility, and lifecycle cost efficiency.
- d. Coordinate design development and value engineering, ensuring compliance with HUD HOME-ARP and required accessibility standards such as but not limited to the Standards for Accessible Design (ADA), Fair Housing Act Design Manual (FHADM), Texas Accessibility Standards (TAS), etc.
- e. Monitor and advance permitting progress with City of Austin and TxDOT (easements, utilities, etc.).
- f. Lead constructability reviews and meetings to ensure alignment with budget and timeline targets.

2. Construction Phase

- a. Coordinate with the GC and subcontractors to monitor construction progress, schedule adherence, and quality control.
- b. Attend site inspections and milestone walks; escalate risks immediately to appropriate internal TOOF stakeholders / POC with recommended mitigation strategies.

- c. Review pay-applications, change orders, and inspection reports.
- d. Maintain proactive communication with TOOF staff, funders, and city officials.

3. Closeout and Operational Launch

- a. Oversee commissioning of systems and final inspections in coordination with TOOF internal Project Manager.
- b. Support facility handover, punch list completion, and certificate of occupancy.
- c. Collaborate on final budget reconciliation and reporting to funders.
- d. Ensure documentation for warranties, manuals, and as-built drawings is collected and submitted.

2.3 Financial Oversight & Funding Coordination

- Actively manage the overall project budget of approximately \$50 million, ensuring alignment with TOOF's financial objectives and the requirements of all applicable funding sources, including HUD and TDHCA-administered programs (e.g., HOME-ARP).
- Track, monitor, and forecast project expenditures across all phases of the project and maintain detailed budget control logs consistent with HUD cost reasonableness and allowability standards (2 CFR Part 200).
- Identify potential cost overruns at the earliest possible stage, recommend corrective actions or value engineering measures, and support the timely preparation and submission of change orders when cost impacts are anticipated, ensuring proper justification and documentation for funding approval.
- Coordinate with TOOF's internal team to ensure compliance with all funding source requirements, including but not limited to HUD, TDHCA, and other federal, state, and private funding entities. This includes monitoring eligible costs, matching requirements, funding caps, and timing constraints, as well as ensuring adherence to applicable Uniform Administrative Requirements, Cost Principles, and Audit Requirements (2 CFR Part 200).
- Recognizing that many HUD and TDHCA funding programs operate on a reimbursement basis, the OR shall support cash flow planning by forecasting expenditures against anticipated drawdowns and reimbursement schedules. The OR will assist TOOF in managing interim financing needs and mitigating financial risk associated with delayed reimbursements.
- Assist in the preparation, organization, and review of all documentation required for reimbursement requests, including but not limited to invoices, proof of payment, contractor pay applications, procurement records, and compliance certifications. All documentation shall be maintained in a manner that is complete, accurate, and audit-ready, consistent with HUD and TDHCA record retention requirements.



- Ensure procurement and contracting processes meet the standards of all funding entities (e.g., TDHCA, HUD HOME-ARP) and advise TOOF on any financial risks or obligations.
- Maintain transparent communication with TOOF's finance team and external funders regarding budget status, funding drawdowns, and reimbursement timelines.

2.4 Deliverables

- Weekly and monthly progress reports
- Risk logs and mitigation plans
- Design and construction milestone signoffs
- Change order and budget tracking logs
- Final closeout and occupancy documentation package

Proposal Requirements

All proposals must be submitted in the format outlined below to be considered responsive. Proposals should be clear, concise, and no longer than 25 pages (excluding resumes and appendices). TOOF reserves the right to request additional information or clarification from any proposer.

3.1 Cover Letter

- Brief introduction to the firm
- Summary of interest and qualifications for this specific project (describe what inspires you to engage with TOOF on this project).
- Signature of an authorized representative

3.2 Firm Overview

- Legal name and structure of the firm
- Firm address and office location
- Number of years in business
- Relevant licenses, certifications, or accreditations
- Organizational chart or description of internal structure
- Provide a brief statement on the firm's financial stability and/or bonding capacity of a project of this scale

- Identify and describe any on-going legal proceeding(s) or pending legal proceeding(s) (arbitration, complaint, or court action) filed by an Owner against the firm for any project in the past five years

3.3 Project Team

- Identify key personnel to be assigned to this project
- Provide resumes highlighting relevant experience of the staff who will be working on the project
- Specify the primary point of contact and their availability over the project timeline
- Identify experience with any potential subcontractors or consultants (design teams, civil, technical, specialists, etc.)
- Subconsultant(s)
 - If no subconsultants are proposed, state “No subconsultants.” If subconsultants are proposed, provide:
 - Name, ownership, and location of the firm.
 - Scope of services they will provide and rationale for subcontracting.
 - Personnel proposed and their resumes.
 - Include them in the organizational chart, noting their firm's name.
 - References for the firm and person(s) proposed.
 - Percentage of the fee allocated to the subconsultant.

3.4 Relevant Experience

- Detail at least three (3) comparable projects completed in the last five years, preferably in:
 - Affordable housing or shelter development
 - Public/private partnership projects
 - HUD HOME-ARP or federally funded developments
- Include client name, project location, scope, budget, schedule, and outcomes
- If no directly related projects exist, provide up to five (5) projects of similar size and complexity (e.g., ground-up construction, community-focused developments, etc.). Include scope, size, location, owner, cost in 2025 dollars, and lessons learned.
- Explain how working with non-profit organizations differs from for-profit clients, particularly in stakeholder engagement, budget constraints, and mission alignment.
- Provide up to three professional (3) references

3.5 Project Approach

- Describe your methodology for managing owner's rep responsibilities across each project phase (design, procurement, construction, closeout)
- Describe your approach to Owner/Architect/Contractor meetings.
- Outline how you will coordinate with TOOF's internal project manager and maintain clear communication with stakeholders
- Explain how your team will identify and manage risks.
- Outline processes for submitting and executing change orders
- Describe involvement and compliance with Authorities Having Jurisdiction (AHJ), including but not limited to HUD HOME-ARP, ADA, Austin Energy, Fire, City of Austin, Texas Department of Transportation, etc.
- Include proposed tools or software platforms for tracking progress and sharing updates

3.6 Financial Oversight

- Detail cost management strategies: Budget management tools and processes.
- Outline the invoice and pay app review process to protect the owner.
- Describe experience evaluating funding sources and securing loans.
- Describe previous experience with state/federal funding, particularly for non-profit housing projects.

3.7 Technology and Tools

- Outline software for document and project control management, TOOF's preferred platform is Monday.com, please confirm the firm's capacity to use this application
- Describe experience with other Project Management tools.

3.7 Schedule and Availability

- Confirm availability of key staff for the duration of the project (through Q2 2029)
- Provide a general outline or timeline of your firm's anticipated workflow for this engagement

3.8 Sustainability and Innovation

Describe your experience with sustainable design or innovative project management practices, such as PMP certification, LEED certification, trauma-informed design, particularly for transitional housing projects.

3.9 Fee Proposal



- Based on a preliminary project budget of \$49,462,512, provide a fee range for Owner's Representative services, expressed as a percentage of the project cost or a fixed range. Include a brief breakdown of fee components (e.g., personnel, overhead, subconsultants), submitted as a separate sealed document from the proposal package. Selection will not be based solely on proposed fees; qualifications, relevant experience, and demonstrated ability to meet the project requirements will be primary evaluation criteria. Respondents are expected to adhere strictly to the procurement process outlined in this RFP.
- Include:
 - Lump sum or time and materials estimate
 - Hourly billing rates for key staff
 - Reimbursable expenses (if any)
- Clearly indicate which project phases are included (preconstruction, construction, closeout)

Bid Instructions

Jobsite Walk Pre-Bid

Bidders shall attend the Pre-Bid Meeting (in-person or virtually) February 6th, 2026, at 10:00am, at which the requirements of the Bidding Documents are reviewed, and a Project site visit is conducted. The Owner requires all Pre-Bid Conference attendees to arrive for the meeting on time and to sign an attendance list, which in turn is used to determine if Bidders meet this requirement. Email full names and titles of all persons who will be in attendance to the RFP Contact no later than 12:00 Noon Central 24 hours prior to job-walk.

Response Timeline

RFP Issued: January 21st, 2026

Pre-Bid Meeting: February 6th, 2026 at 10:00 AM CDT

Questions regarding the RFP due: February 11th, 2026, by 5:00 PM CDT

Responses to questions provided by: February 16th, 2026

Submission due: March 03rd 2026, by 5:00 PM CDT

Interviews: Week of March 9th, 2026 (as needed with top candidates, conducted virtually or in-person)

Bid Questions

Submit via email in one document a bid proposal to joe.westphal@toofound.org and all bid questions to emily.fesette@toofound.org. Faxes will NOT be accepted. Bid questions and answers will be consolidated and distributed to all bidders in an addendum, unless the response negates a competitive advantage from the question submitter.

General Bid Instruction

The purpose of this document is to provide bidding Contractors with instructions to prepare a complete Lump Sum Bid for the project scope. This document is in no way to be construed as a complete scope list.

Each Contractor is responsible for providing a complete bid that includes all costs for execution of the work in accordance with the proposal requirements mentioned above.

In addition, all bidders must be able to include in their proposal a current Certificate of Insurance indicating minimum coverages to be maintained for the duration of services under this engagement: (i) Commercial General Liability insurance with limits of not less than **\$1,000,000 per occurrence and \$2,000,000 aggregate**; (ii) Professional Liability (Errors & Omissions) insurance with limits of not less than **\$1,000,000 per claim and \$2,000,000 aggregate**; and (iii) Workers' Compensation insurance in



compliance with Texas statutory requirements, together with Employer's Liability coverage of not less than **\$1,000,000 per accident, disease, and aggregate; (iv) Builders Risk insurance** with limits of not less than **\$1,000,000 per occurrence and \$2,000,000 aggregate**; Coverage shall be written by insurers authorized to do business in Texas and rated no less than **A-/VII** by A.M. Best. Additional insurance coverages may be required during construction upon Owner / Funder(s) request.

The selected Owner's Representative shall coordinate with TOOF to ensure that the General Contractor provides Performance and Payment Bonds each in an amount equal to one hundred percent (100%) of the construction contract value, anticipated to be up to \$50,000,000, issued by a surety authorized to do business in Texas and rated A- or better by A.M. Best.

Bidder, by making a Bid, represents that:

1. Bidder has read, understood, and made the Bid in accordance with the provisions of this Request for Proposal (RFP) and all other Bid Documents.
2. Bidder confirms acceptance of all requirements in this document.
3. Bidder has visited the Project site and is familiar with the conditions under which the Work is to be performed and the local conditions as related to the requirements of the Bid Documents.
4. At the time of submission of the Bid, Bidder and all Subcontractors, regardless of tier, have the appropriate current and active licenses, certifications, etc. as required to perform the work in the Bid Documents.
5. Bidder has the expertise and financial capacity to perform and complete all obligations under the Bidding Documents.
6. Bidder is aware of and, if awarded the Contract, will comply with all applicable Federal, State and local Procurement Requirements in its performance of the Work.
7. Bidder will identify all scope gaps or items that do not seem complete in the Bid Documents and submit to the Owner as a Bid RFI.
8. **All documents, information, and materials provided by TOOF in connection with this Request for Proposals (RFP) are confidential and may be used by the bidder solely for the purpose of preparing a proposal. Bidders shall not disclose, reproduce, distribute, or otherwise share any such information with any third party without TOOF's prior written consent. This obligation shall survive the submission of a proposal and any subsequent award or non-award.**

Additional Project Specific Bid Requirements

1. **Include in your bid a complete, detailed proposed Project Schedule.** This schedule is a requirement for the bid to be considered. Schedules should include mobilization and demobilization dates, major activities, and durations that demonstrate to TOOF that the OR comprehends the overall project phasing.
2. Provide all warranties specified, to include "Special Warranties" or other similar type warranties, that are to be provided by the manufacturer per the terms and durations in the specifications.
3. OR Change Order Requests shall show cost breakouts for labor, material, equipment rentals,

subcontractor backup proposals and all markups.

4. OR agrees that all non-confirming work for which they or their subcontractors are responsible will be remedied at no scheduled impact or cost to Owner.
5. OR agrees to ensure all changes are pre-approved in writing as expeditiously as possible. It is incumbent on the OR to solicit scope, schedule, and budget impacts for potential changes from subcontractors as soon as the potential change is recognized.

Bid Documents

1. Request for Proposal (RFP)
2. Attachments - In addition to this RFP document, the following Attachments have been provided along with the RFP to assist Respondents in their RFP bid response.
 - a. Attachment #1: Preliminary site plan and architectural plans
 - b. Attachment #2: Preliminary Civil Engineering plans
 - c. Attachment #3: Property Legal Description
3. Proposal Deliverables

Evaluation Criteria

TOOF will evaluate all proposals based on the following weighted criteria:

Criteria	Weight
Relevant Experience & Qualifications	30%
Project Team & Staffing	20%
Proposed Approach & Methodology	25%
Alignment with Project Vision & Timeline	10%
Fee Proposal (Cost Effectiveness)	15%

TOOF reserves the right to request additional information, conduct interviews, or negotiate scope and fees with one or more respondents prior to final award. Upon acceptance and review of proposals, firms with the highest weighted scores shall be invited to participate in final interviews prior to award selection

Clarifications:

Contract Type

The Owner will enter into a professional services agreement with the selected Owner's Representative, governed by a Master Services Agreement (MSA). Compensation may be structured as lump sum, time-and-materials with a not-to-exceed amount, or a hybrid approach, as finalized during contract negotiations. Under this MSA, the Work will be performed under individual Work Orders and/or Purchase Orders, as applicable. The selected bidder, once awarded the contract, will commence project execution upon receipt of the "Notice of Award" from the Owner. At that point, the Owner and Contractor will finalize the detailed scope, costs, and schedules through the issuance of a Purchase Order. The term of this engagement is anticipated to be approximately forty-eight (48) months, with a tentative start date of March 16th, 2026, and a tentative end date of October 15th, 2029.

1. The contract will be based on AIA C103-2015, with potential modifications. If your firm has a standard contract for services, provide a sample for review. Highlight key terms, such as dispute resolution or termination clauses.
2. Respondents are reminded that the information contained within this RFP, including other data appended or related to it, is the property of the Owner, is confidential and proprietary to the Owner, and may not be reproduced in whole or in part without the express written permission of the Owner. Respondent shall not disclose or release any such information for any use or purpose, other than as required to respond to this RFP, without the prior written approval of the Owner. If requested, all such information shall be destroyed or promptly returned to the Owner. Unless otherwise notified and agreed to in writing, all communications, whether electronic, verbal, written, or by any other means, between personnel or other representatives of the Respondent and the Owner's associates or other authorized Owner Agents/Representatives, shall also be considered confidential.
3. Proposals will be opened privately. All proposals shall be complete and final and must be guaranteed for 120 calendar days after the date established for the receipt of proposals.
4. By submitting proposals, Respondents represent that they are experienced and qualified firms, capable of performing the work required of them by the proposal documents. Respondents further indicate that they have carefully reviewed the information provided pertaining to the Projects in full and have considered all of the conditions surrounding and relative to the performance of their work. Respondents shall include all applicable State Sales and Use Tax as it pertains to their proposal.
5. The Owner reserves the right to accept or reject any submitted proposals and to revise the services required at its discretion.

Disclaimer: The Owner has issued this RFP to solicit proposals from potential Owner's Representative firms for a comprehensive evaluation of their proposals as outlined in the attachments. This is not an offer to contract for services. Only the execution of a written contract will obligate the Owner in accordance with the terms and conditions contained in such a contract. All cost associated with preparing the RFP response is borne by the respondent.

THE OTHER ONES FOUNDATION / ESPERANZA II



SHEET INDEX	
A0.00	COVER AND SHEET INDEX
A1.01	MASTER PLAN
A1.02	HQ BUILDING SITE PLAN
A2.01	A1, A2 UNIT PLAN
A2.02	HQ BUILDING LEVEL 1 FLOOR PLAN
A2.03	HQ BUILDING LEVEL 2 FLOOR PLAN
A2.04	HQ BUILDING LEVEL 3 & 4 FLOOR PLAN
A2.05	HQ BUILDING B1, B2 UNIT PLAN
A3.01	A1 UNIT ELEVATION
A3.02	A2 UNIT ELEVATION
A3.03	HQ BUILDING - ELEVATION
A3.04	HQ BUILDING - ELEVATION

SITE DATA
TOTAL AREA: 7.107 ACRES
MASTER PLAN AREA: 5.791 ACRES

BUILDING DATA
(1) 4 STORY HEADQUARTER W/ (100) UNITS
(225) NON-CONGREGATE UNITS
TOTAL UNITS: 325 UNITS
UNITS / ACRE: 56.1 UNITS

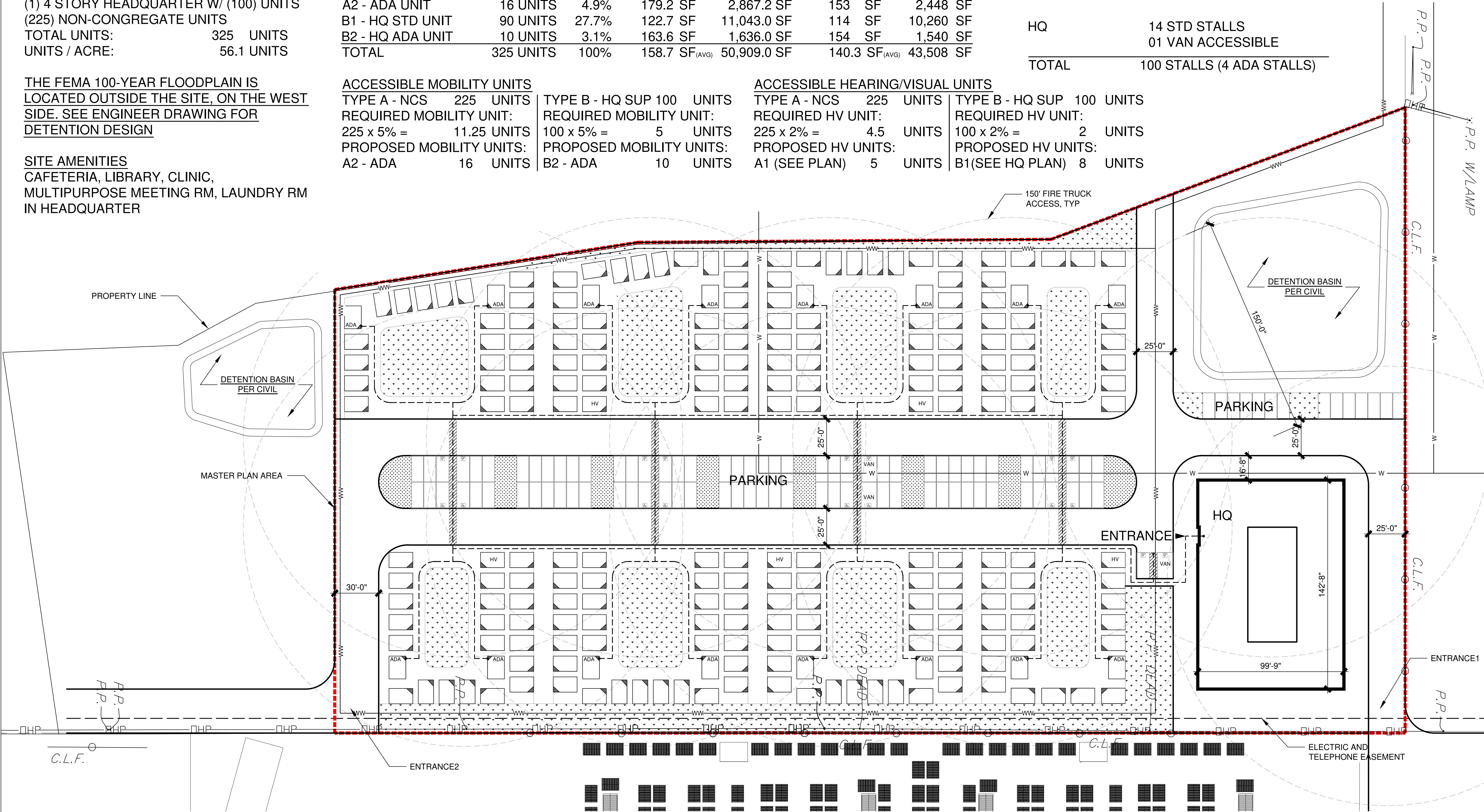
THE FEMA 100-YEAR FLOODPLAIN IS LOCATED OUTSIDE THE SITE, ON THE WEST SIDE. SEE ENGINEER DRAWING FOR DETENTION DESIGN

SITE AMENITIES
CAFETERIA, LIBRARY, CLINIC, MULTIPURPOSE MEETING RM, LAUNDRY RM IN HEADQUARTER

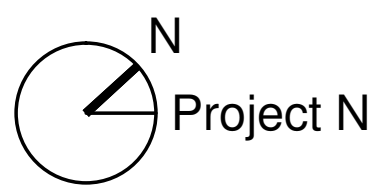
UNIT TABLE ONE BED / BATH UNIT AND 4-STORY HQ						
UNIT TYPE	# UNITS	# %	UNIT GROSS	TOTAL SF	UNIT INTERIOR	TOTAL SF
A1 - STD UNIT	209 UNITS	64.3%	169.2 SF	35,362.8 SF	140 SF	29,260 SF
A2 - ADA UNIT	16 UNITS	4.9%	179.2 SF	2,867.2 SF	153 SF	2,448 SF
B1 - HQ STD UNIT	90 UNITS	27.7%	122.7 SF	11,043.0 SF	114 SF	10,260 SF
B2 - HQ ADA UNIT	10 UNITS	3.1%	163.6 SF	1,636.0 SF	154 SF	1,540 SF
TOTAL	325 UNITS	100%	158.7 SF _(AVG)	50,909.0 SF	140.3 SF _(AVG)	43,508 SF

ACCESSIBLE MOBILITY UNITS				ACCESSIBLE HEARING/VISUAL UNITS			
TYPE A - NCS	225 UNITS	TYPE B - HQ SUP	100 UNITS	TYPE A - NCS	225 UNITS	TYPE B - HQ SUP	100 UNITS
REQUIRED MOBILITY UNIT:				REQUIRED HV UNIT:			
225 x 5% = 11.25 UNITS				225 x 2% = 4.5 UNITS			
PROPOSED MOBILITY UNITS:				PROPOSED HV UNITS:			
A2 - ADA	16 UNITS	B2 - ADA	10 UNITS	A1 (SEE PLAN)	5 UNITS	B1(SEE HQ PLAN)	8 UNITS

PARKING NO MINIMUM PARKING REQUIREMENTS	
RESIDENT	68 STANDARD STALLS 15 ACCESSIBLE 02 VAN ACCESSIBLE
HQ	14 STD STALLS 01 VAN ACCESSIBLE
TOTAL	100 STALLS (4 ADA STALLS)



01 MASTER PLAN
A1.01 SCALE : 1/32" = 1'-0"



NOT FOR CONSTRUCTION
Concept drawings that are not based on a CAD file of the survey, for project feasibility study only

LEGEND	
---●---	ACCESSIBLE PATH
[A1]	A1 - STD UNIT
[HV]	A1 - HV UNIT
[ADA]	A2 - ADA UNIT

LEGEND (EXISTING SITE ELEMENT)	
C.L.F.	CHAIN LINK FENCE
P.P.	POWER POLE
-OHP-	OVERHEAD ELECTRIC

PROJECT NAME:
THE OTHER ONES
FOUNDATION /
ESPERANZA II

PROJECT ADDRESS:
626 Bastrop Hwy,
Austin, TX 78742

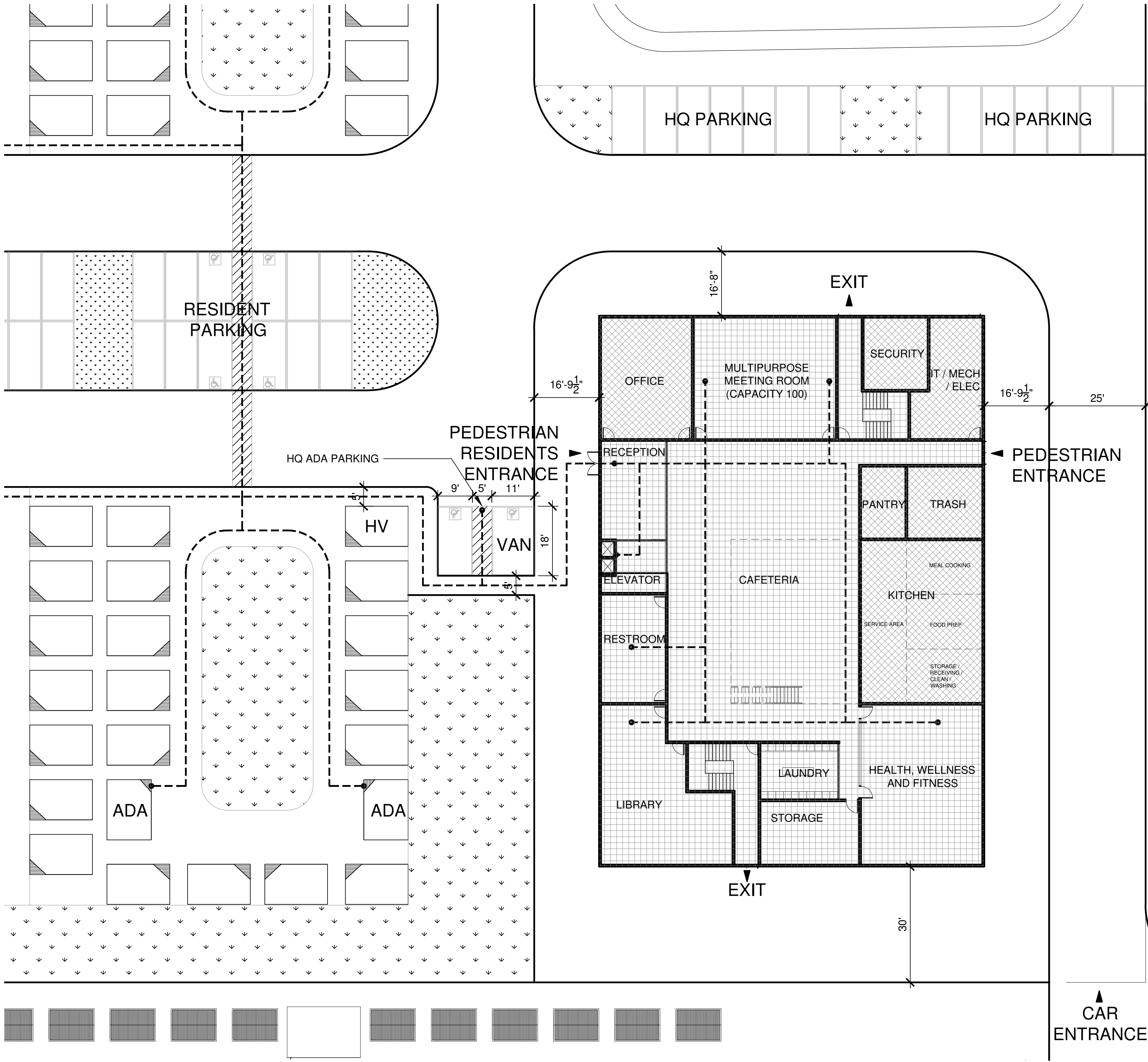
SHEET TITLE:
PROJECT DATA AND
MASTER PLAN

DATE:

3/20/2025

SHEET NO:

A1.01



LEGEND

ACCESSIBLE PATH

NCS UNIT ACCESSIBLE
COMMON AREA

STAFF COMMON AREA

NOTE: SEE HQ PLAN FOR COMMON
AREA BREAKDOWN; ONLY THE L3
TERRACE IS NOT ACCESSIBLE TO
NCS UNITS

PROJECT NAME:
THE OTHER ONES
FOUNDATION /
ESPERANZA II

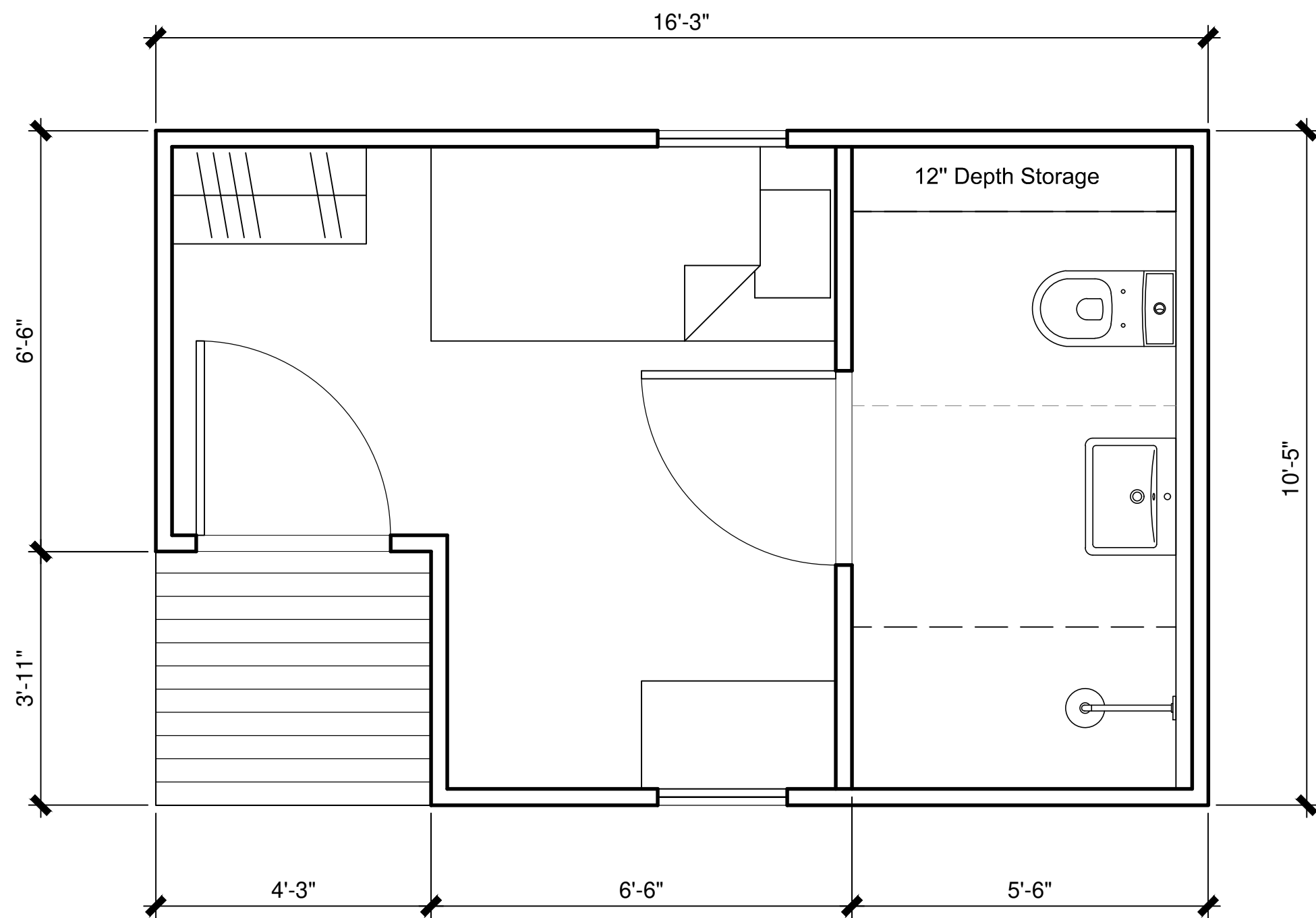
PROJECT ADDRESS:
626 Bastrop Hwy,
Austin, TX 78742

SHEET TITLE:
HQ BUILDING SITE PLAN

DATE:
8/29/2025

SHEET NO:

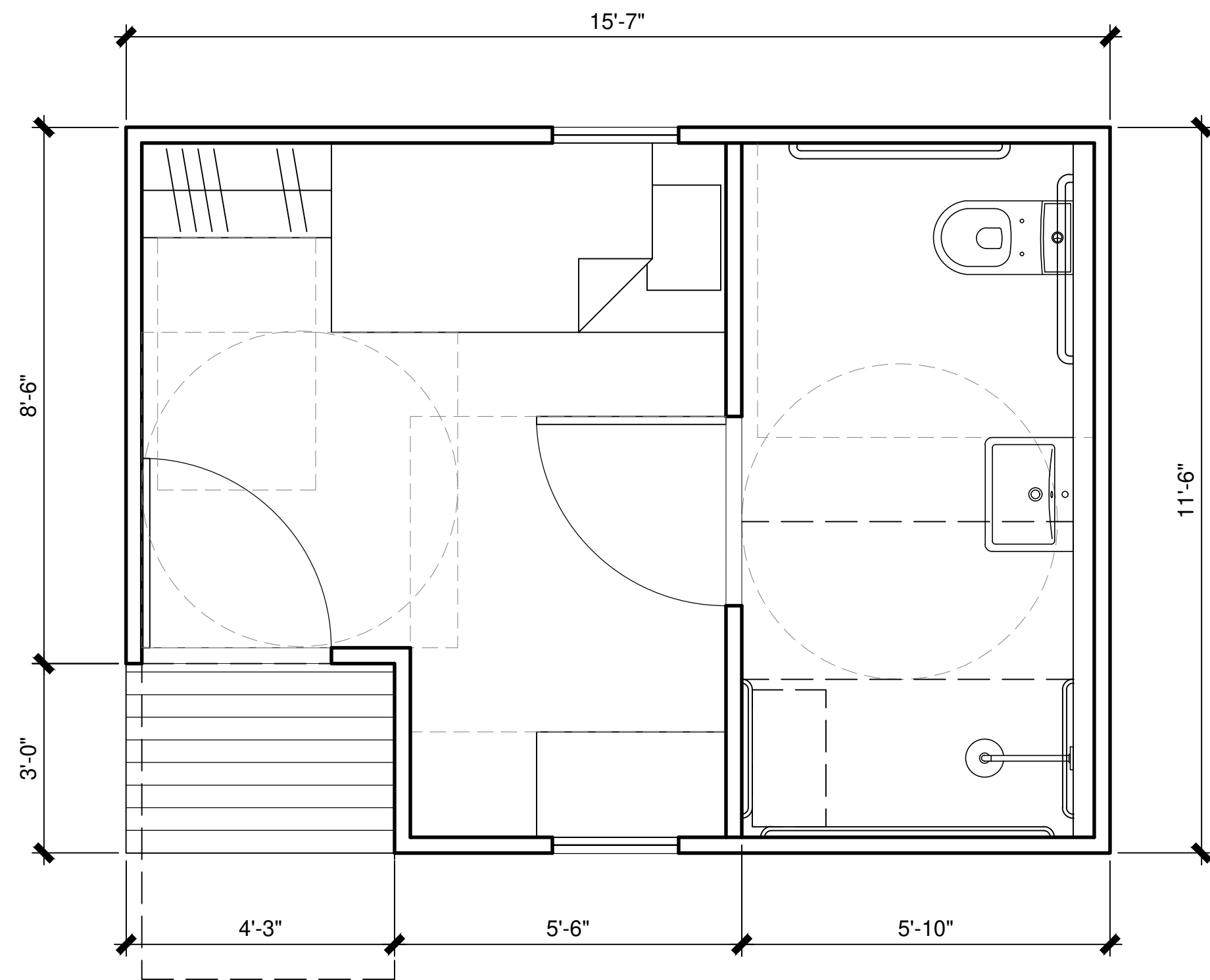
A1.02



01 | A1 - STANDARD UNIT PLAN

A2.01 | SCALE : 1/2" = 1'-0"

169.2 SF GROSS FLOOR AREA
140 SF INTERIOR FLOOR AREA



02 | A2 - ADA UNIT PLAN

A2.01 | SCALE : 1/2" = 1'-0"

179.2 SF GROSS FLOOR AREA
153 SF INTERIOR FLOOR AREA

UNIT AMENITIES:

- (a) Install Energy Star-labeled ceiling fans in living areas and bedrooms.
- (b) All appliances must be Energy Star-labeled.
- (c) Install Energy Star-labeled lighting in all interior units.
- (d) Install Energy Star-labeled ventilation equipment, including power-vented fans and bathroom fans.
- (e) Structural insulated panel (energy efficient alternative construction material) for all unit walls.
- (f) Installation of central air conditioning or heat pump equipment with a better Seasonal Energy Efficiency Rating (SEER) than that required by the energy code adopted under Section 388.003, Health and Safety Code.
- (g) Covered entries
- (h) Thirty year shingle roofing
- (i) Closet in primary bedroom
- (j) Private storage
- (k) Covered patios

PROJECT NAME:

THE OTHER ONES
FOUNDATION /
ESPERANZA II

PROJECT ADDRESS:

626 Bastrop Hwy,
Austin, TX 78742

SHEET TITLE:

A1, A2 UNIT PLAN

DATE:
3/20/2025

SCALE:

SHEET NO:

A2.01

HEADQUARTER SQUARE FOOTAGES

GROSS FLOOR AREA: 52,883 SF
INTERIOR SPACE: 50,265 SF
CONDITIONED SPACE: 46,514 SF

SUPPORTIVE HOUSING (INTERIOR):
B1 - HQ STD UNIT (114 SF) x 90 10,260 SF
B2 - HQ ADA UNIT (154 SF) x 10 1,540 SF
TOTAL - 100 UNITS: 11,800 SF

COMMON AREA:
TOTAL COMMON SPACE: 39,257 SF
COMMON SPACE PER UNIT: 120.8 SF/UNIT (TOTAL OF 325 UNITS)

FLOOR AREA BREAKDOWN TABLE

LEVEL 1

GROSS FLOOR AREA: 14,231 SF

COMMON AREA:
RECEPTION 451 SF
MULTIPURPOSE MEETING RM 1,200 SF
CAFETERIA 3,923 SF
HEALTH, WELLNESS, FITNESS 1,356 SF
LAUNDRY RM 308 SF
LIBRARY 1,141 SF
ELEVATOR 246 SF
RESTROOM 499 SF
EXIT STAIRS* 738 SF
HALLWAY 298 SF

RESIDENT COMMON AREA: 10,160 SF

STAFF COMMON AREAS:
OFFICE 780 SF
SECURITY 332 SF
KITCHEN 1,370 SF
PANTRY* 229 SF
TRASH RM* 385 SF

TOTAL STAFF SPACES: 3,096 SF
TOTAL COMMON AREA L1: 13,256 SF

IT/MECH/ELEC 527 SF
STORAGE* 448 SF

LEVEL 2

GROSS FLOOR AREA: 12,808 SF

STAFF COMMON AREAS:
OFFICE 4,052 SF
MEETING RM 673 SF
MULTIPURPOSE RM 1,874 SF
BREAK RM 378 SF
ELEVATOR 225 SF
RESTROOM 689 SF
EXIT STAIRS* 478 SF
HALLWAY 3,588 SF

TOTAL COMMON AREA L2: 11,957 SF

SUPPORT SPACES:
IT/MECH/ELEC 333 SF
STORAGE* 517 SF

NOTE: * SPACES ARE NON-AIR-CONDITIONED; PROPER VENTILATION REQUIRED.

LEVEL 3

GROSS FLOOR AREA: 14,231 SF

SUPPORTIVE HOUSING:
B1 - HQ STD UNIT (114 SF) x 45 5,130 SF
B2 - HQ ADA UNIT (154 SF) x 5 770 SF

TOTAL SUPPORTIVE HOUSING: 5,900 SF

RESIDENT COMMON AREA:
ELEVATOR 180 SF
TERRACE* 2,618 SF
EXIT STAIRS* 478 SF
HALLWAY 3,442 SF

STAFF COMMON AREA:
OFFICE 1,613 SF

TOTAL COMMON AREA L3: 8,331 SF

LEVEL 4

GROSS FLOOR AREA: 11,613 SF

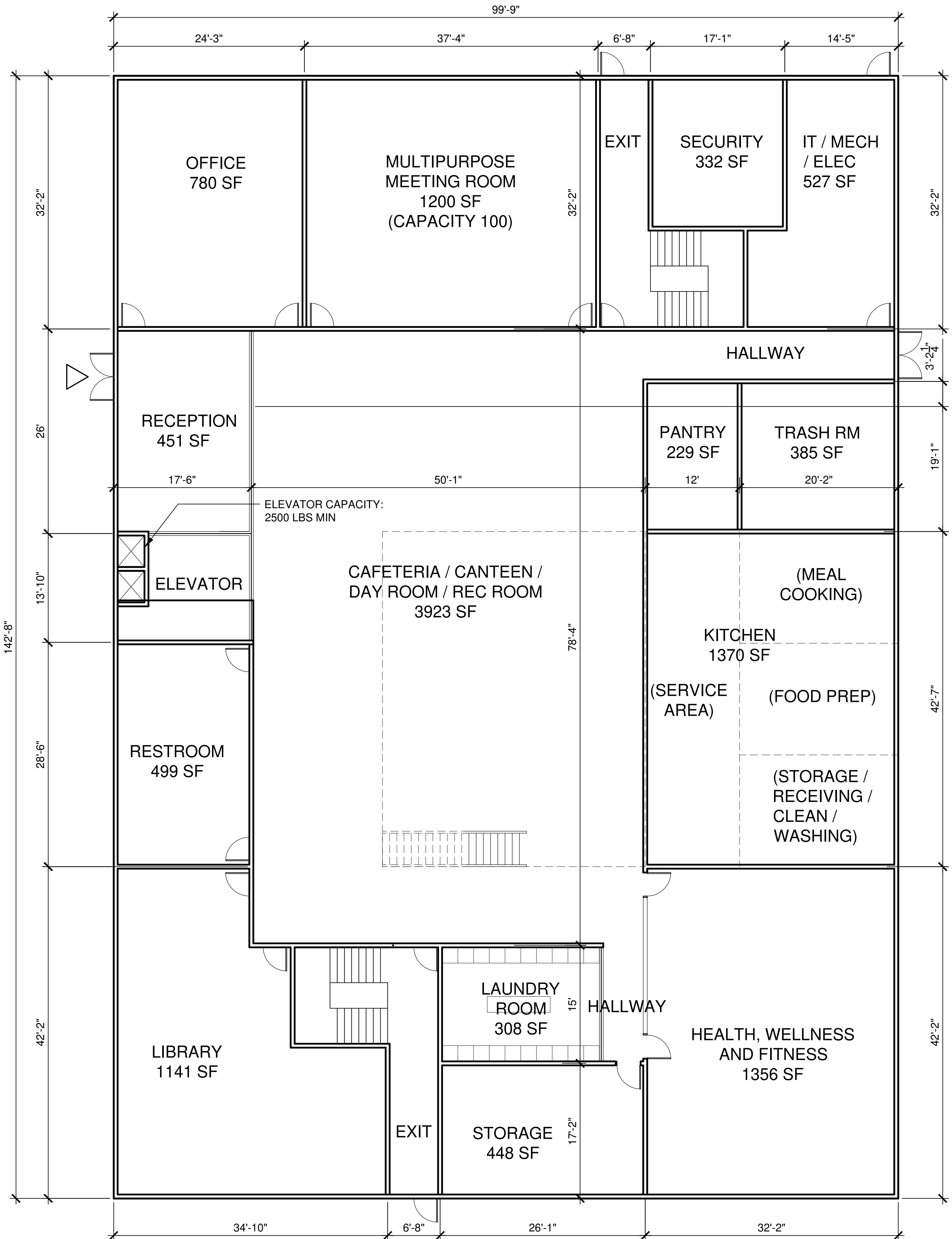
SUPPORTIVE HOUSING:
B1 - HQ STD UNIT (114 SF) x 45 5,130 SF
B2 - HQ ADA UNIT (154 SF) x 5 770 SF

TOTAL SUPPORTIVE HOUSING: 5,900 SF

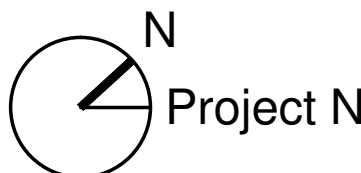
RESIDENT COMMON AREA:
ELEVATOR 180 SF
EXIT STAIRS 478 SF
HALLWAY 3,442 SF

STAFF SPACES:
OFFICE 1,613 SF

TOTAL COMMON AREA L4: 5,713 SF



01 | HQ LEVEL 1 PLAN
A2.02 | SCALE : 1/8" = 1'-0"



plugin house

WWW.PLUGINHOUSE.ORG

PRELIMINARY ONLY;
SUBJECT TOCHANGE

PROJECT NAME:
THE OTHER ONES
FOUNDATION /
ESPERANZA II

PROJECT ADDRESS:
626 Bastrop Hwy,
Austin, TX 78742

SHEET TITLE:
HQ BUILDING
LEVEL 1 FLOOR PLAN

DATE:
8/29/2025

SHEET NO:

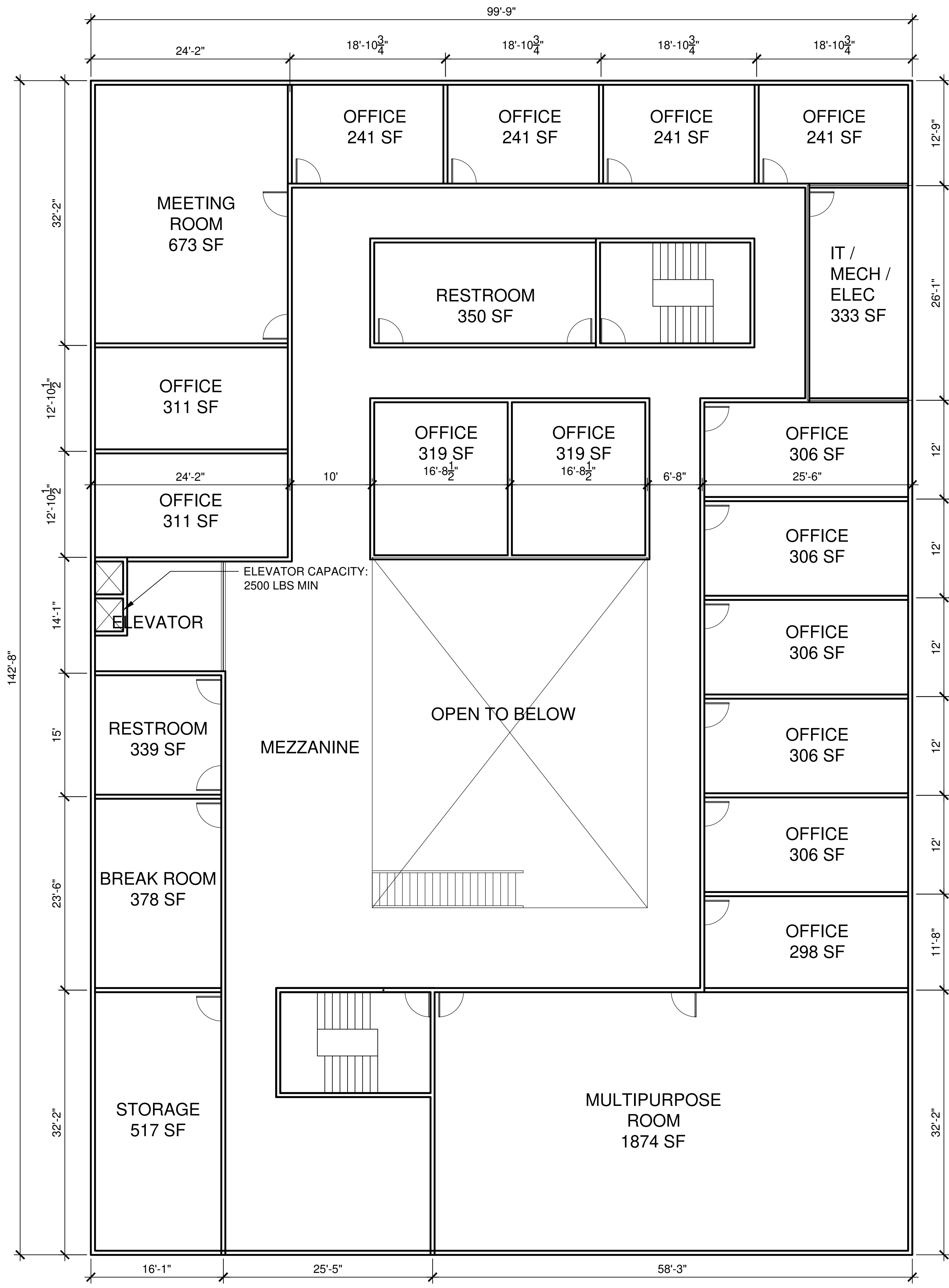
A2.02

LEVEL 2

GROSS FLOOR AREA:	12,808 SF
STAFF COMMON AREAS:	
OFFICE	4,052 SF
MEETING RM	673 SF
MULTIPURPOSE RM	1,874 SF
BREAK RM	378 SF
ELEVATOR	225 SF
RESTROOM	689 SF
EXIT STAIRS*	478 SF
HALLWAY	3,588 SF

TOTAL COMMON AREA L2:	11,957 SF
SUPPORT SPACES:	
IT/MECH/ELEC	333 SF
STORAGE*	517 SF

NOTE: * SPACES ARE NON-AIR-CONDITIONED;
PROPER VENTILATION REQUIRED.



LEVEL 3
GROSS FLOOR AREA: 14,231 SF

SUPPORTIVE HOUSING:
B1 - HQ STD UNIT (114 SF) x 45 5,130 SF
B2 - HQ ADA UNIT(154 SF) x 5 770 SF

TOTAL SUPPORTIVE HOUSING: 5,900 SF

RESIDENT COMMON AREA:
ELEVATOR 180 SF
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EXIT STAIRS* 478 SF
HALLWAY 3,442 SF

STAFF COMMON AREA:
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TOTAL COMMON AREA L3: 8,331 SF

LEVEL 4
GROSS FLOOR AREA: 11,613 SF

SUPPORTIVE HOUSING:
B1 - HQ STD UNIT (114 SF) x 45 5,130 SF
B2 - HQ ADA UNIT(154 SF) x 5 770 SF

TOTAL SUPPORTIVE HOUSING: 5,900 SF

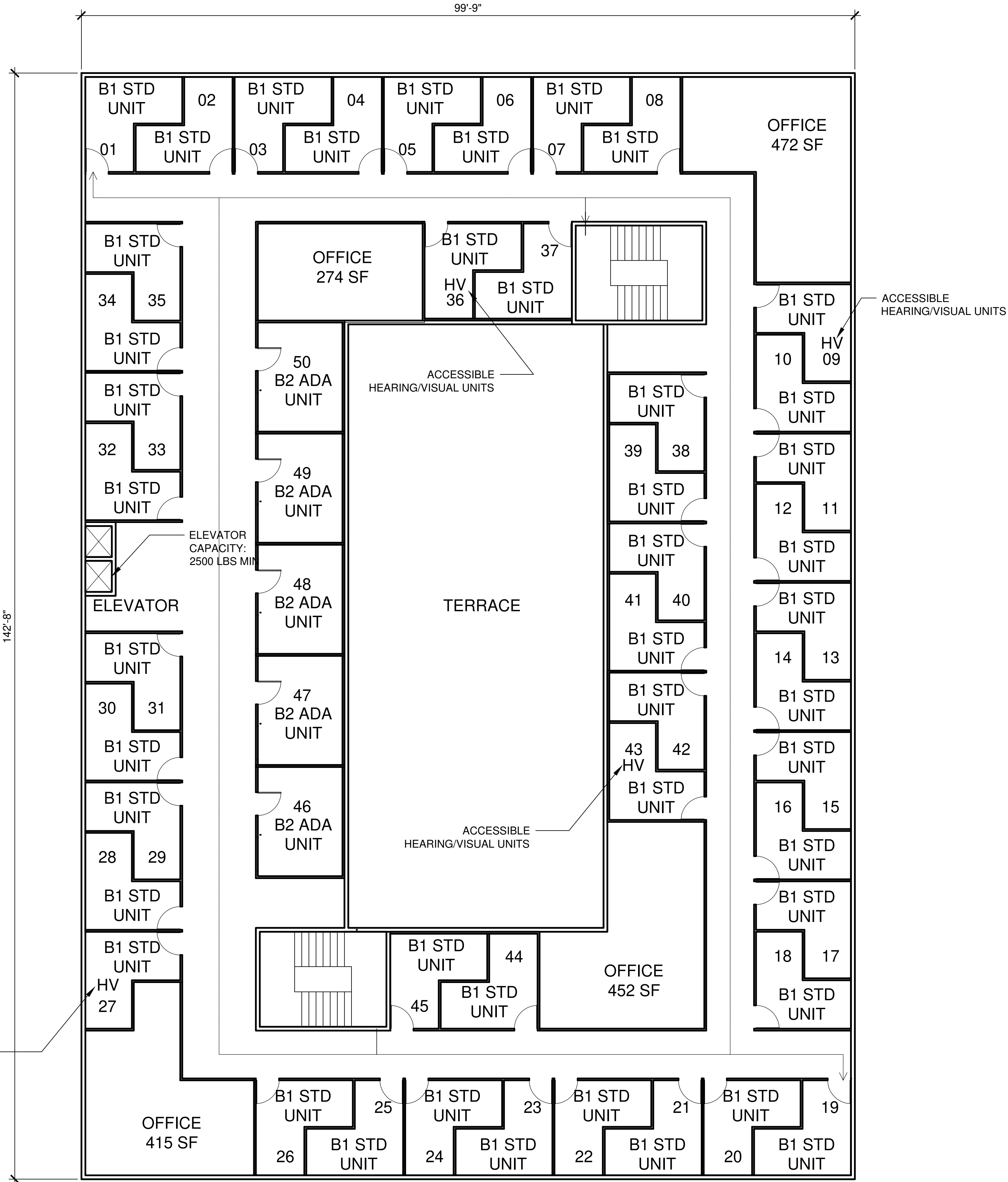
RESIDENT COMMON AREA:
ELEVATOR 180 SF
EXIT STAIRS 478 SF
HALLWAY 3,442 SF

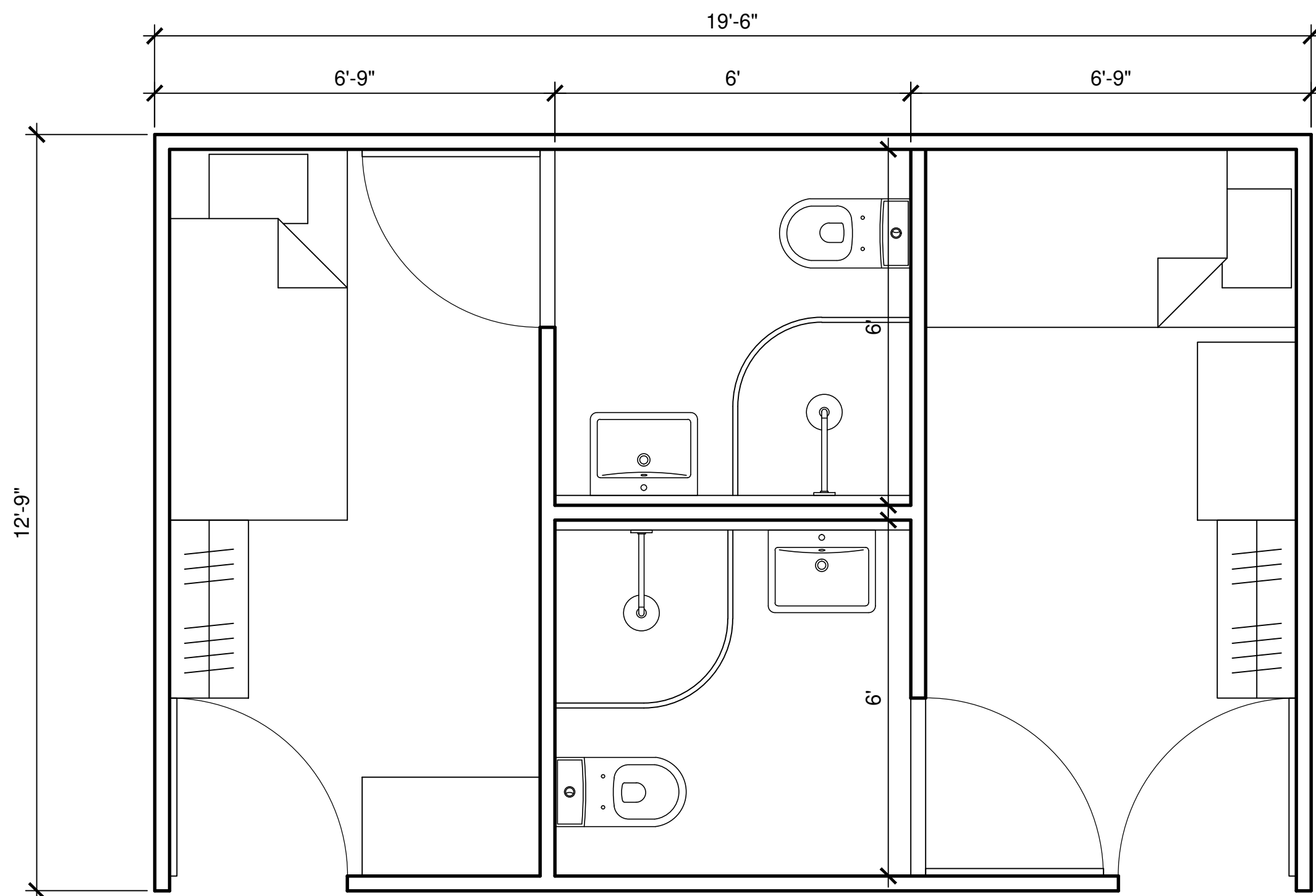
STAFF SPACES:
OFFICE 1,613 SF

TOTAL COMMON AREA L4: 5,713 SF

NOTE: * SPACES ARE NON-AIR-CONDITIONED;
PROPER VENTILATION REQUIRED.

ACCESSIBLE
HEARING/VISUAL UNITS

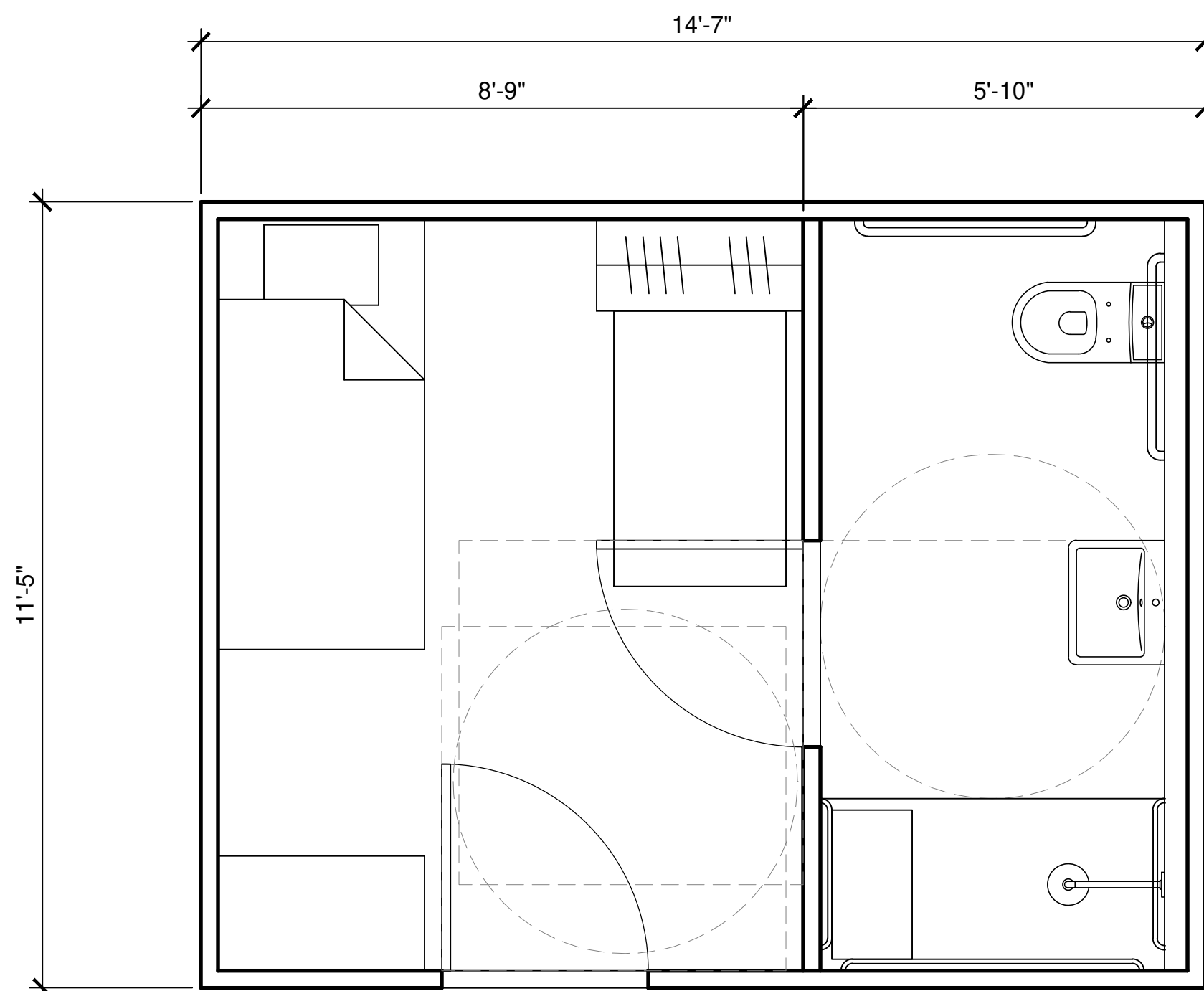




01 | B1 - STANDARD DUPLEX UNIT PLAN

A2.05 | SCALE : 1/2" = 1'-0"

122.7 SF GROSS FLOOR AREA (EACH SINGLE UNIT)
114 SF INTERIOR FLOOR AREA (EACH SINGLE UNIT)



02 | B2 - ADA UNIT PLAN

A2.05 | SCALE : 1/2" = 1'-0"

163.6 SF GROSS FLOOR AREA
154 SF INTERIOR FLOOR AREA

UNIT AMENITIES:

- (a) Install Energy Star-labeled ceiling fans in living areas and bedrooms.
- (b) All appliances must be Energy Star-labeled.
- (c) Install Energy Star-labeled lighting in all interior units.
- (d) Install Energy Star-labeled ventilation equipment, including power-vented fans and bathroom fans.
- (e) Structural insulated panel (energy efficient alternative construction material) for all unit walls.
- (f) Installation of central air conditioning or heat pump equipment with a better Seasonal Energy Efficiency Rating (SEER) than that required by the energy code adopted under Section 388.003, Health and Safety Code.
- (g) Covered entries
- (h) Thirty year shingle roofing
- (i) Closet in primary bedroom
- (j) Private storage
- (k) Covered patios

PROJECT NAME:
THE OTHER ONES
FOUNDATION /
ESPERANZA II

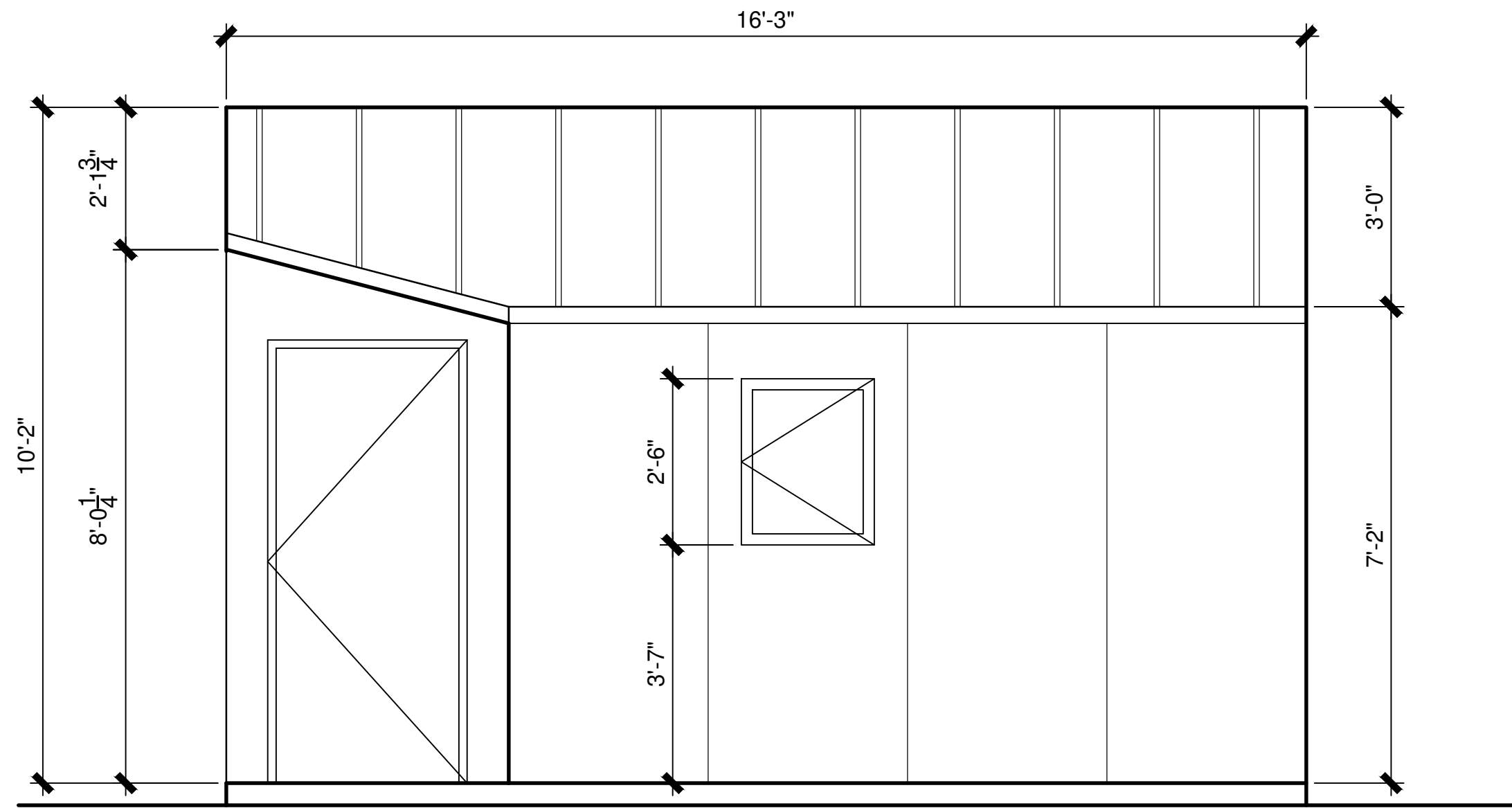
PROJECT ADDRESS:
626 Bastrop Hwy,
Austin, TX 78742

SHEET TITLE:
HQ BUILDING
B1, B2 UNIT PLAN

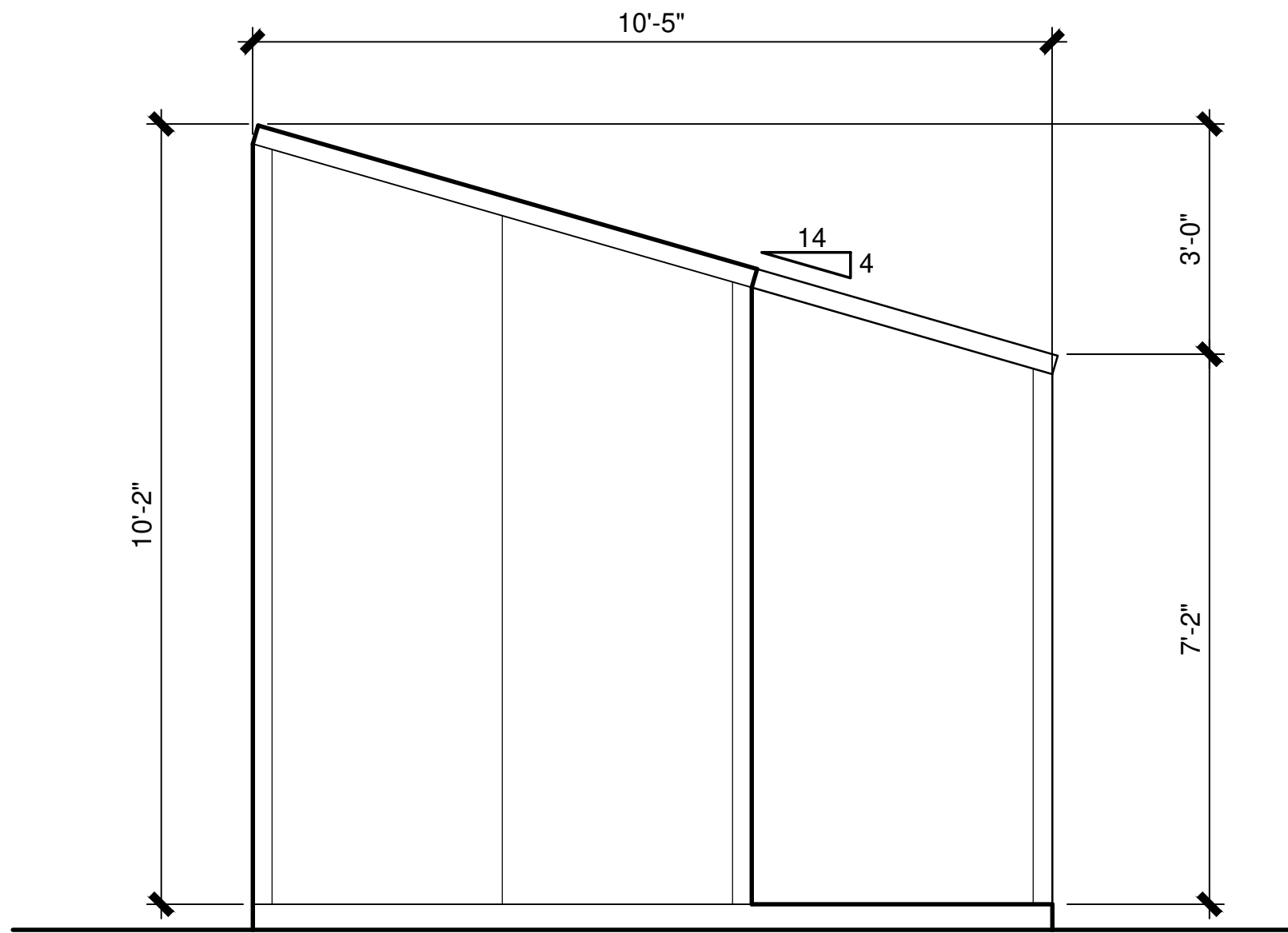
DATE:
3/20/2025

SHEET NO:

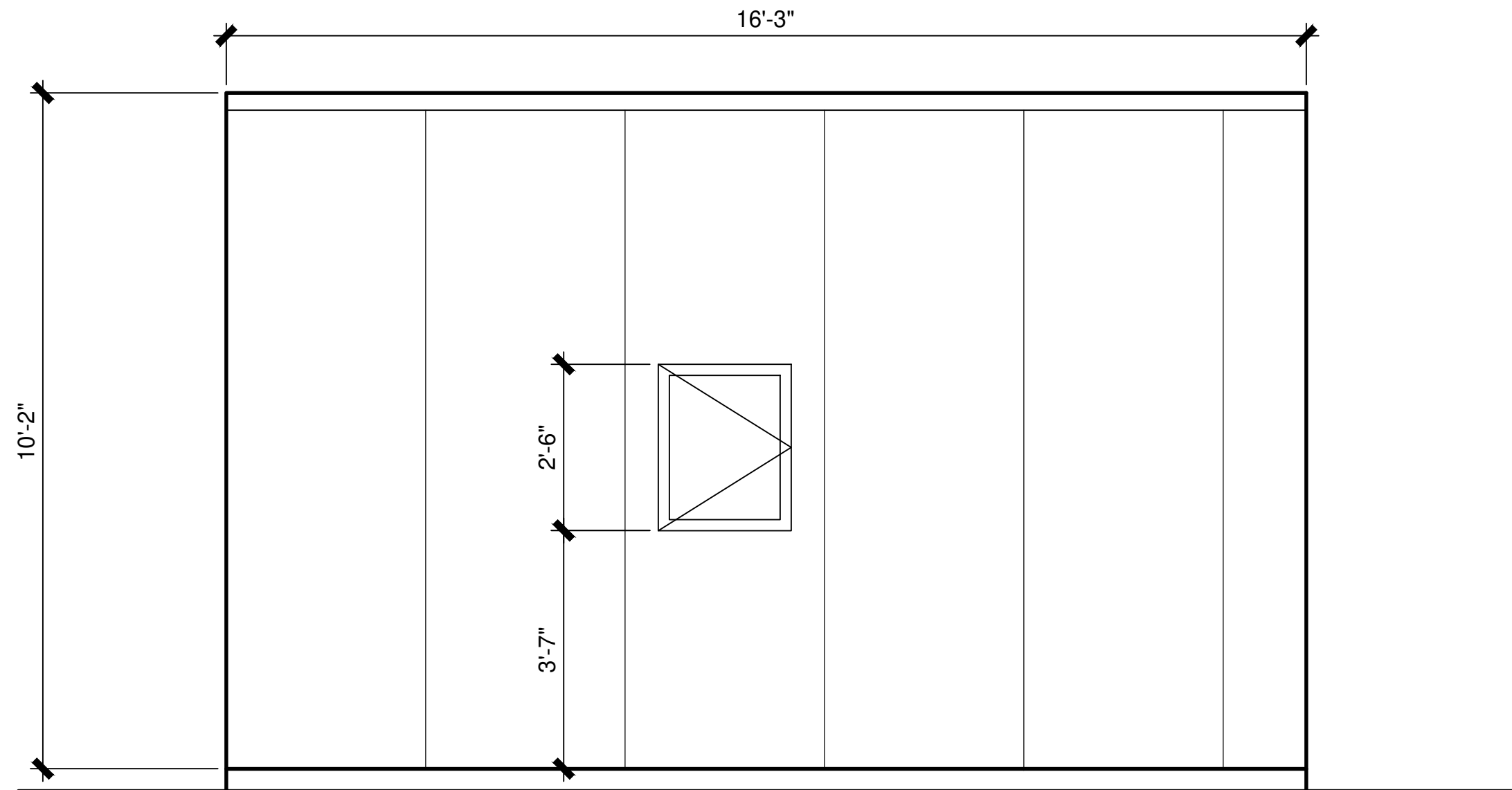
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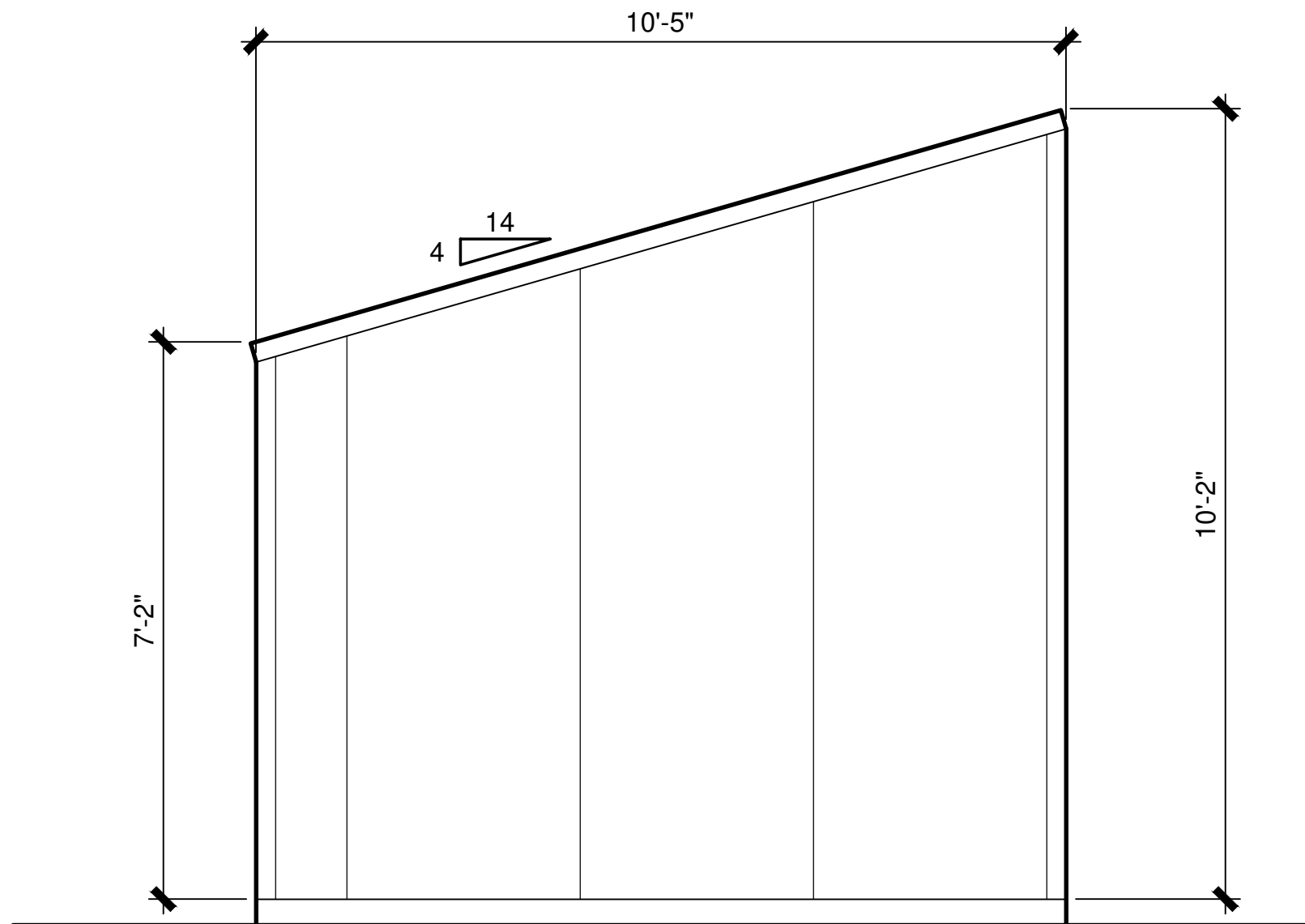
01 | A1 STD UNIT - SOUTH ELEVATION
A3.01 | SCALE : 1/2" = 1'-0"



02 | A1 STD UNIT - WEST ELEVATION
A3.01 | SCALE : 1/2" = 1'-0"



03 | A1 STD UNIT - NORTH ELEVATION
A3.01 | SCALE : 1/2" = 1'-0"



04 | A1 STD UNIT - EAST ELEVATION
A3.01 | SCALE : 1/2" = 1'-0"

FACADE MATERIALS:
PLUGIN HOUSE PANEL 100%
(METAL SURFACE PANEL)

ROOF MATERIAL:
METAL PANEL

PROJECT NAME:
THE OTHER ONES
FOUNDATION /
ESPERANZA II

PROJECT ADDRESS:
626 Bastrop Hwy,
Austin, TX 78742

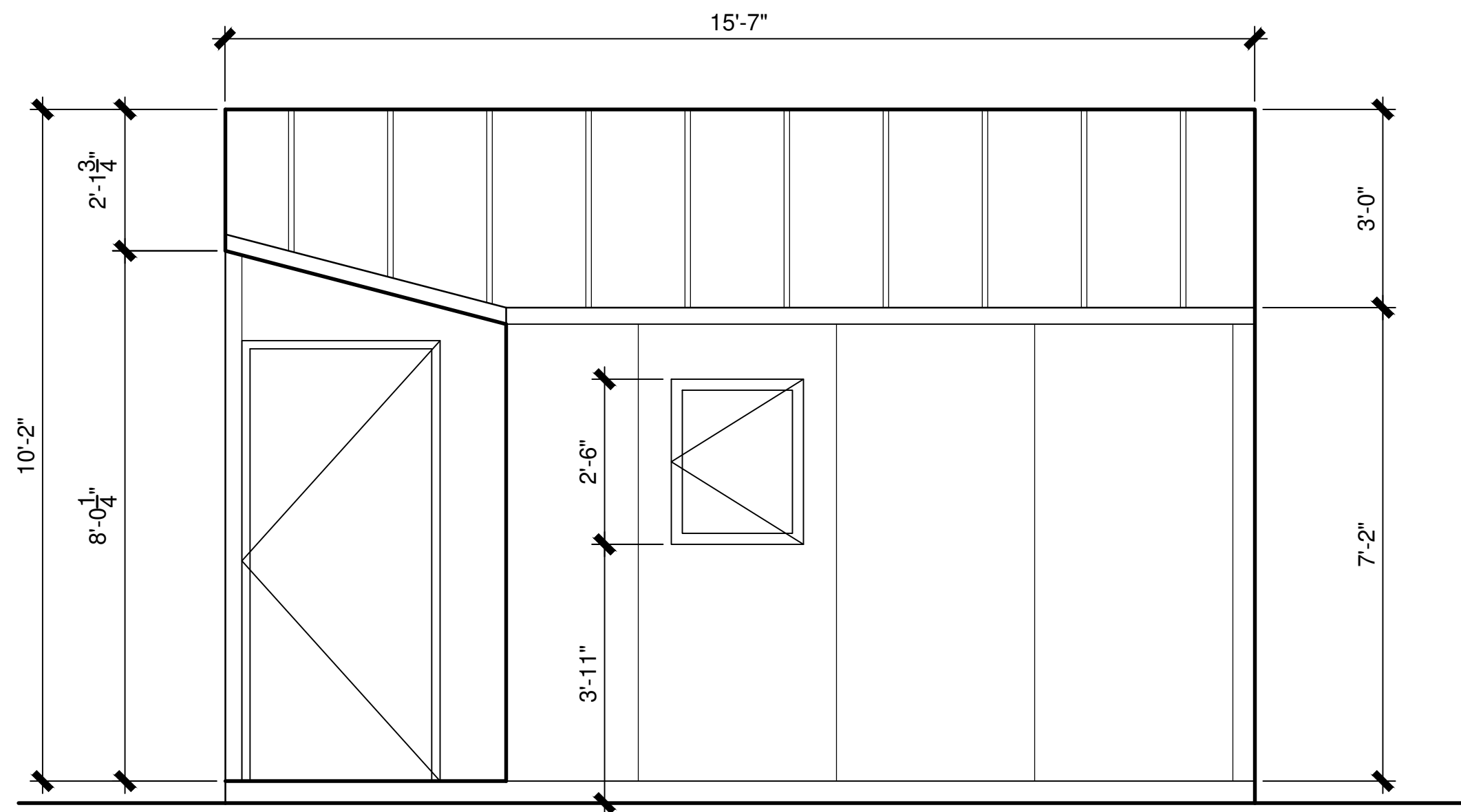
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A1 UNIT ELEVATION

DATE:
3/20/2025

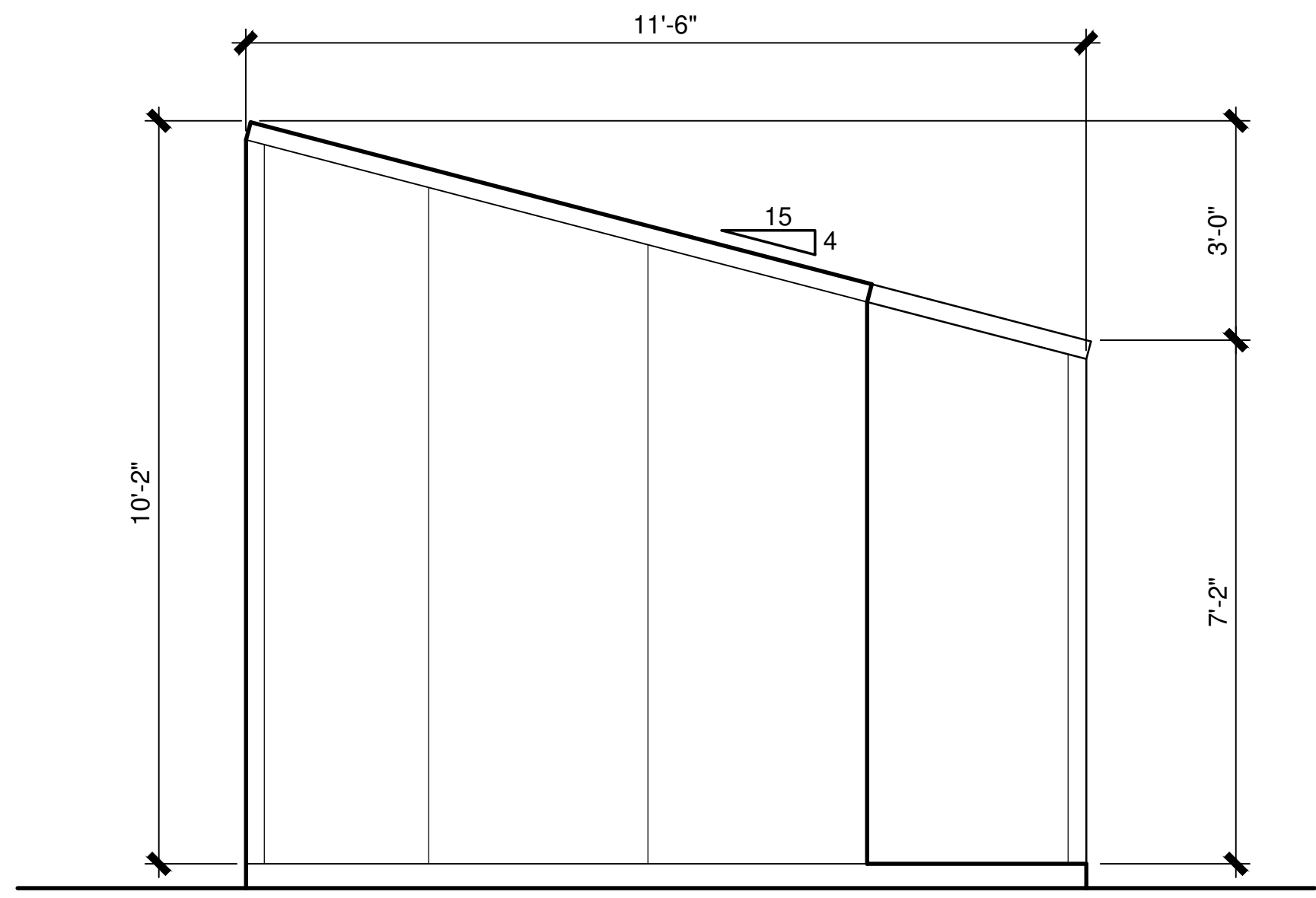
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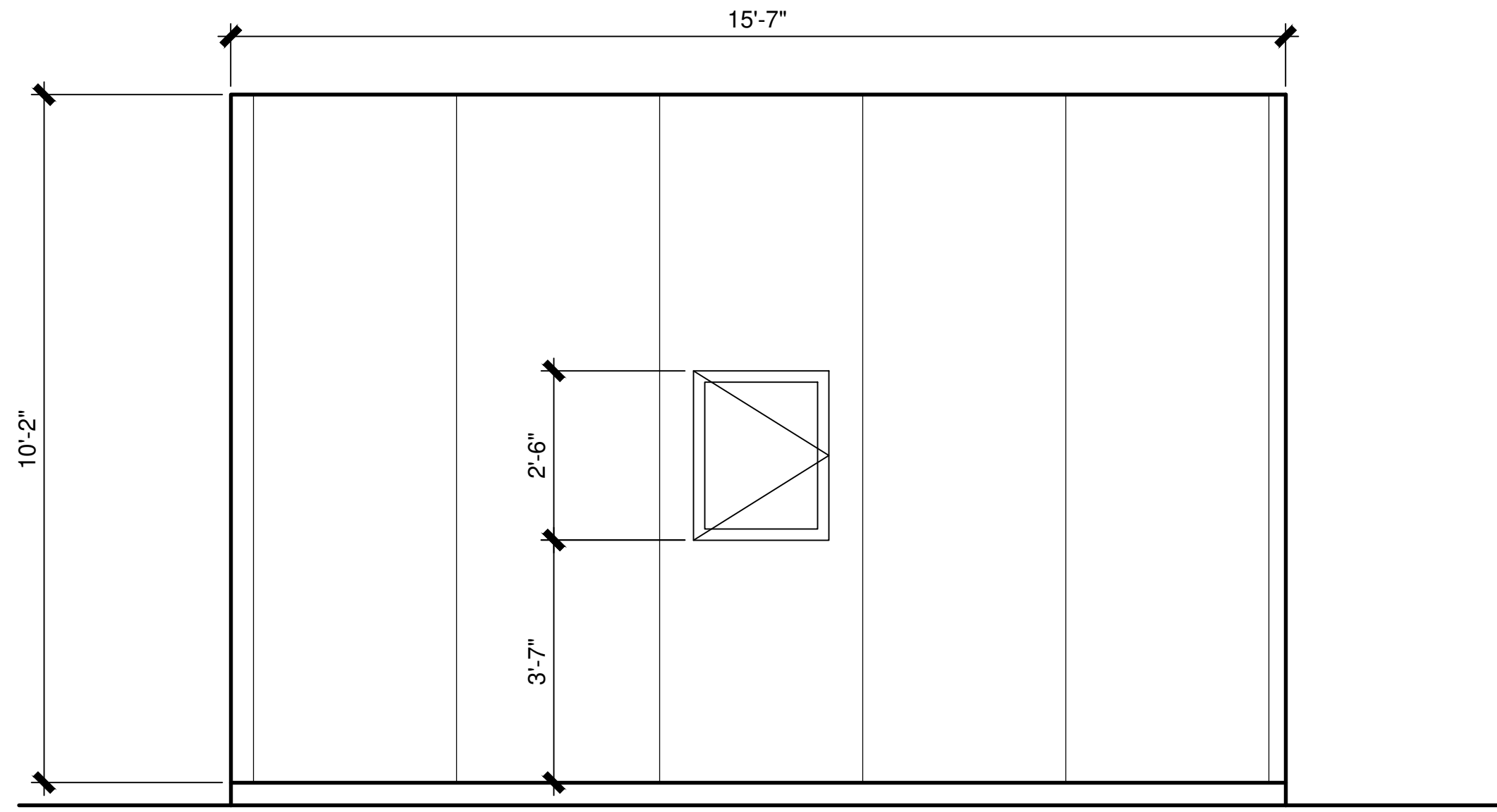
A3.01



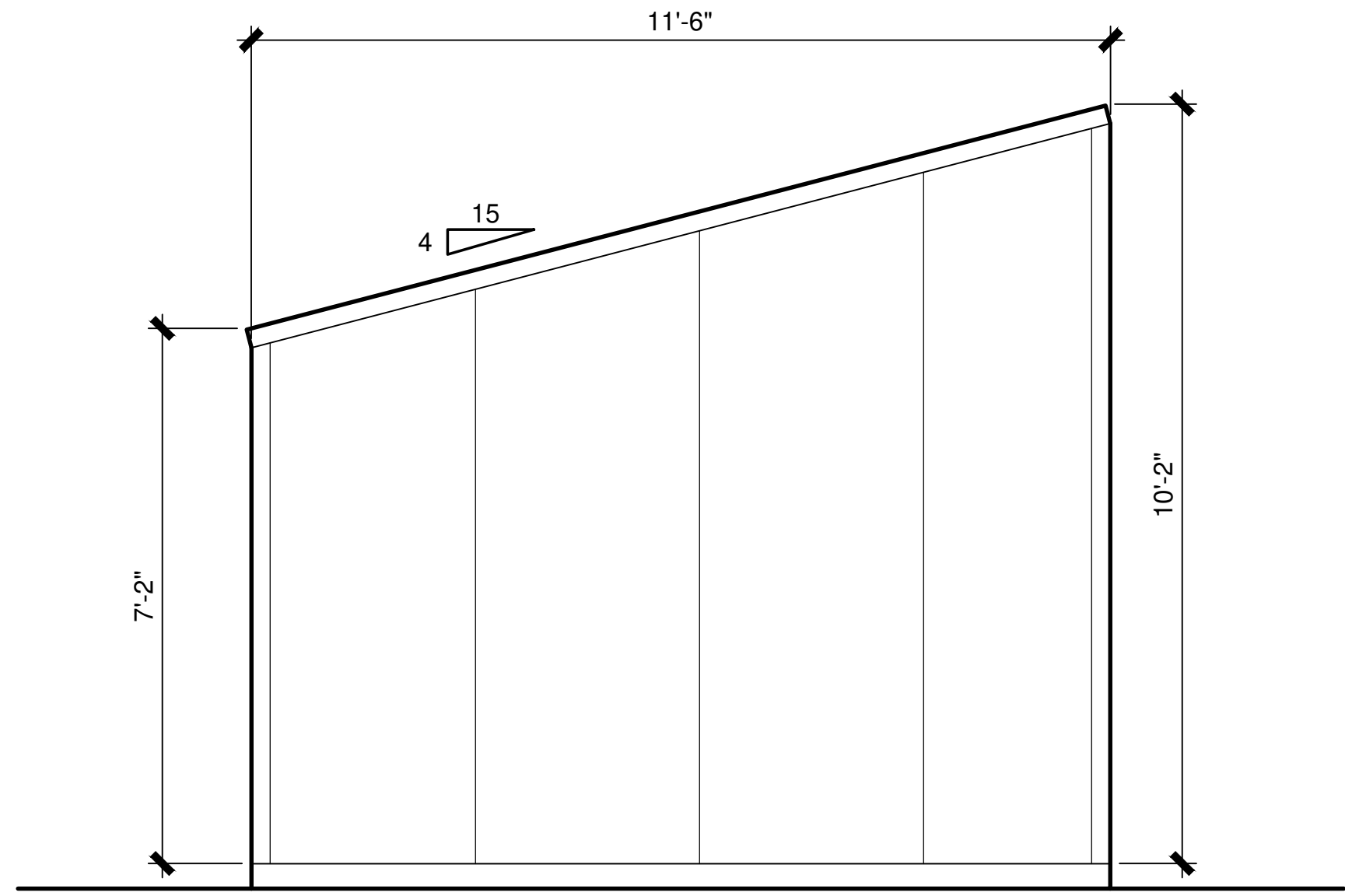
01 | A2 ADA UNIT - SOUTH ELEVATION
A3.02 | SCALE : 1/2" = 1'-0"



02 | A2 ADA UNIT - WEST ELEVATION
A3.02 | SCALE : 1/2" = 1'-0"



03 | A2 ADA UNIT - NORTH ELEVATION
A3.02 | SCALE : 1/2" = 1'-0"



04 | A1 ADA UNIT - EAST ELEVATION
A3.02 | SCALE : 1/2" = 1'-0"

FACADE MATERIALS:
PLUGIN HOUSE PANEL 100%
(METAL SURFACE PANEL)

ROOF MATERIAL:
METAL PANEL

PROJECT NAME:
THE OTHER ONES
FOUNDATION /
ESPERANZA II

PROJECT ADDRESS:
626 Bastrop Hwy,
Austin, TX 78742

SHEET TITLE:
A2 UNIT ELEVATION

DATE:
3/20/2025

SCALE:

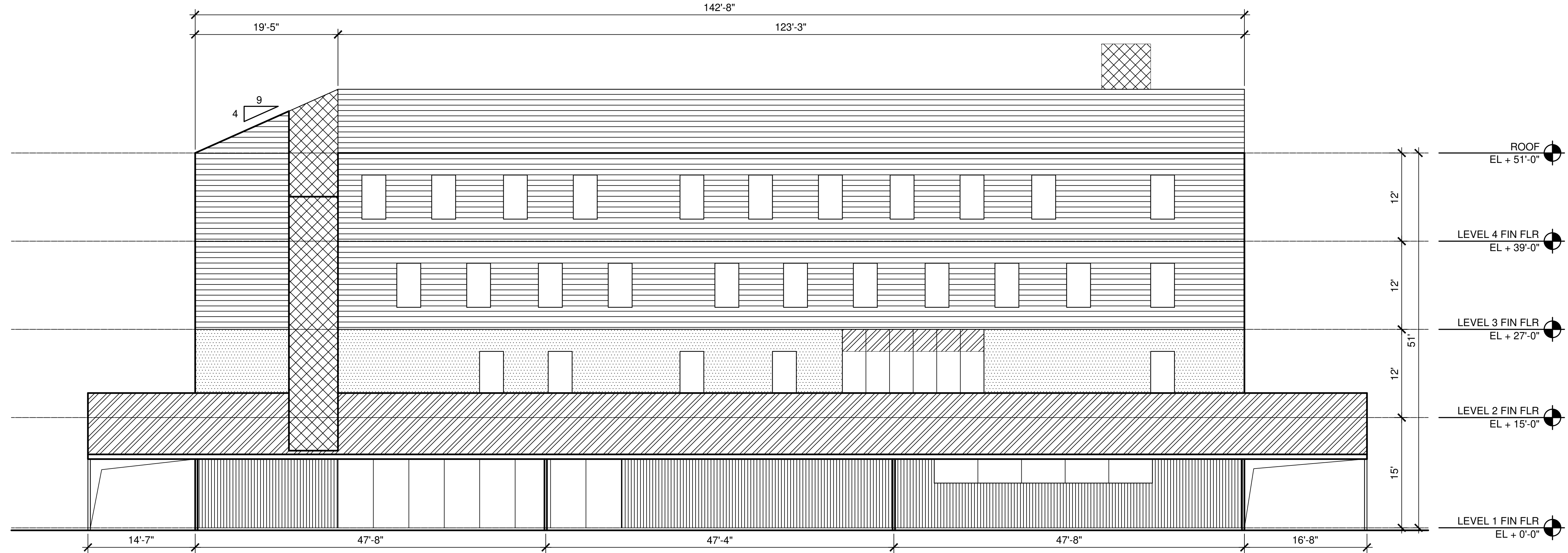
SHEET NO:

A3.02



FACADE MATERIALS:
METAL PANEL 100%

ROOF MATERIAL:
METAL PANEL



02 HQ - SOUTH ELEVATION
A3.05 SCALE : 1/8" = 1'-0"

PROJECT NAME:
THE OTHER ONES
FOUNDATION /
ESPERANZA II

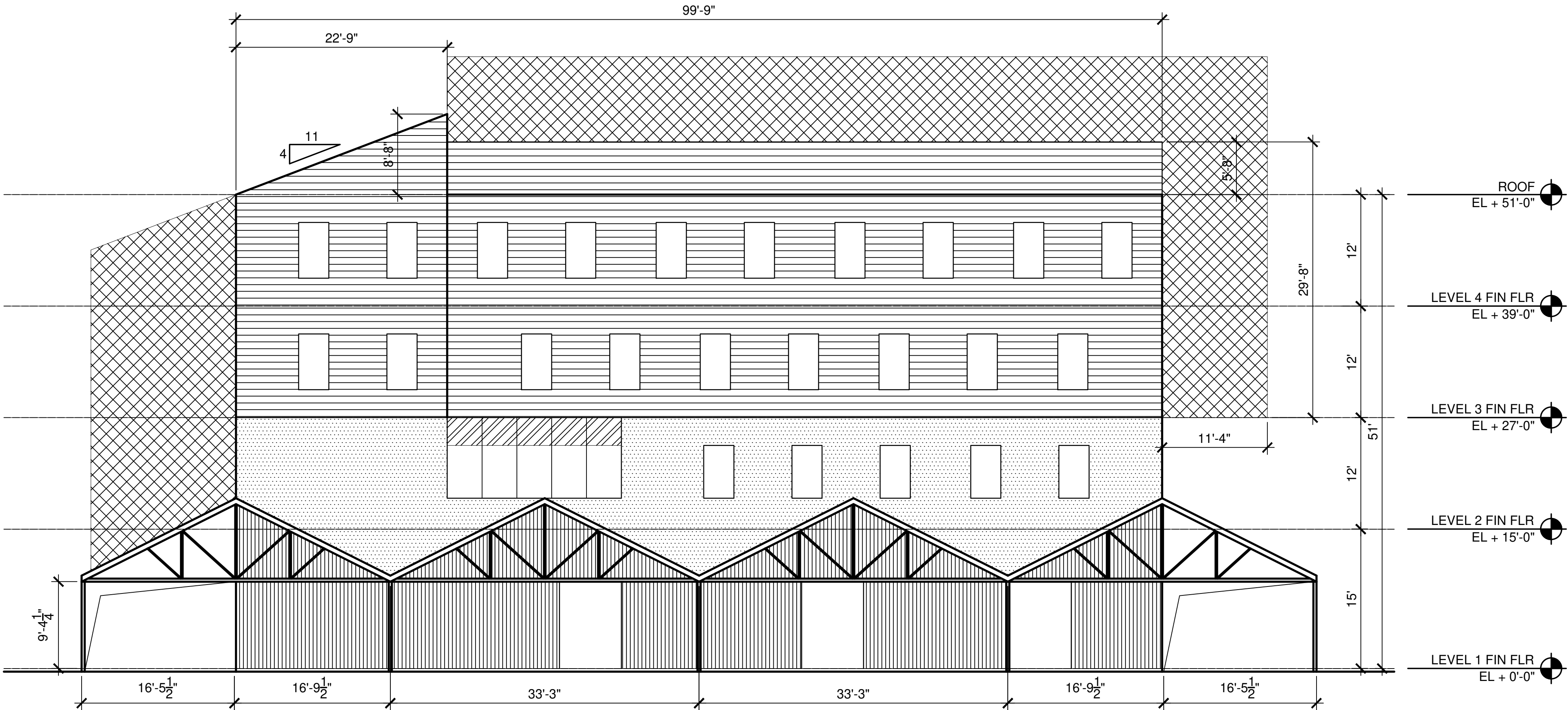
PROJECT ADDRESS:
626 Bastrop Hwy,
Austin, TX 78742

SHEET TITLE:
HQ BUILDING
ELEVATION

DATE:
3/20/2025

SHEET NO:

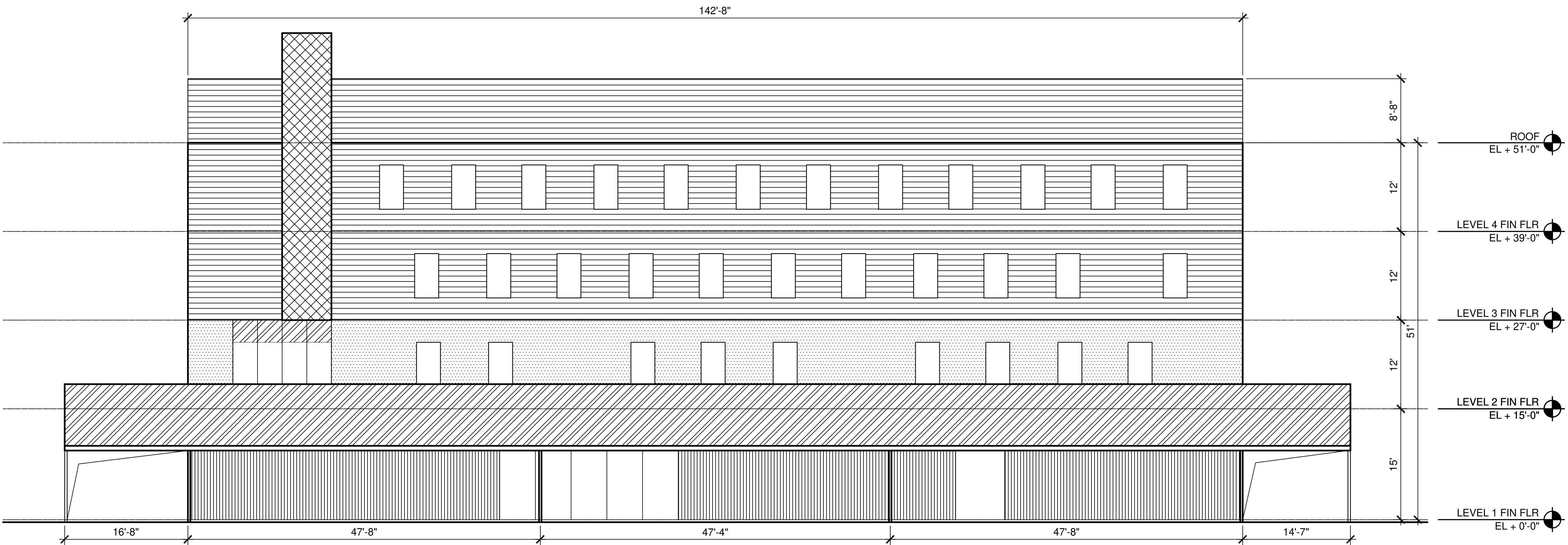
A3.03



01 | HQ - EAST ELEVATION
A3.06 | SCALE : 1/8" = 1'-0"

FACADE MATERIALS:
METAL PANEL 100%

ROOF MATERIAL:
METAL PANEL



02 | HQ - NORTH ELEVATION
A3.06 | SCALE : 1/8" = 1'-0"

PRELIMINARY ONLY;
SUBJECT TO CHANGE

ESPERANZA II

626 BASTROP HWY

AUSTIN, TEXAS

CIVIL CONSTRUCTION PLANS

SHEET INDEX

Sheet Description	Sheet No.
COVER SHEET	01
OVERALL DEVELOPMENT PLAN	02
OVERALL SITE PLAN	03
EROSION & SEDIMENTATION CONTROL PLAN	04
UTILITY PLAN	05
GRADING & PAVING PLAN	06
ARCHITECTURAL SITE PLAN	A1.01

OWNER

TEXAS DEPARTMENT OF TRANSPORTATION
7901 N. IH 35
AUSTIN, TEXAS 78753
PHONE: (512) 832-2040
CONTACT: MIKE ARELLANO, DEPUTY DISTRICT ENGINEER

OPERATOR

THE OTHER ONES FOUNDATION
780 BASTROP HIGHWAY
AUSTIN, TEXAS 78741
PHONE: (512) 745-1295
CONTACT: CHRIS BAKER, EXECUTIVE DIRECTOR

ENGINEER:

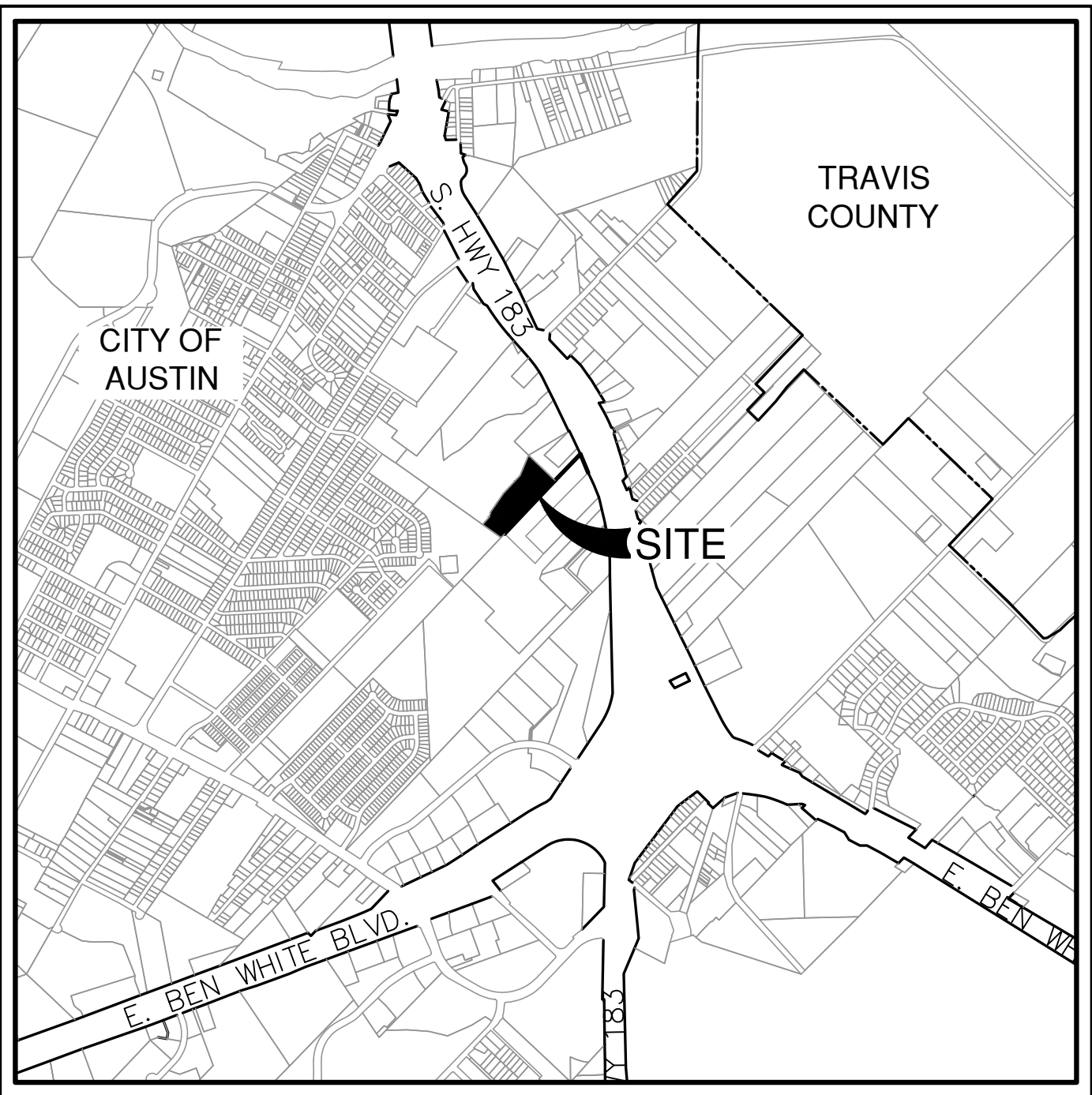
PAPE-DAWSON ENGINEERS
10801 N MOPAC EXPY BLDG 3 #200
AUSTIN, TEXAS 78759
PHONE: (512) 454-8711
FAX: (512) 459-8867
CONTACT: MARK RAMSEUR

SURVEYOR:

PAPE-DAWSON ENGINEERS
10801 N MOPAC EXPY BLDG 3 #200
AUSTIN, TEXAS 78759
PHONE: (512) 454-8711
FAX: (512) 459-8867

NOTES

- THIS SITE PLAN MATERIALLY ADHERES TO APPLICABLE STATE REGULATIONS AND CODE ORDINANCES AS APPLICABLE, AND IDENTIFIES STRUCTURES, SITE AMENITIES, PARKING SPACES AND DRIVEWAYS, TOPOGRAPHY UTILIZING LIDAR, SITE DRAINAGE AND DETENTION, WATER AND WASTEWATER UTILITY TIE-INS, AND OTHER TYPICAL STATE REQUIRED ITEMS. OFF-SITE IMPROVEMENTS FOR UTILITIES ARE ALSO SHOWN. OTHER REQUIREMENTS ARE EXEMPT ON THE LAND THAT SHALL BE OWNED BY THE STATE SUCH AS LOCAL REQUIREMENTS.
- TXDOT AND COA APPROVAL FOR UTILITIES TO BE OBTAINED PRIOR TO CONSTRUCTION.
- ALL LAND TO BE OWNED BY TXDOT.

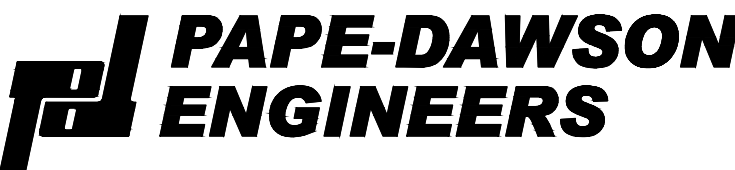


LOCATION MAP

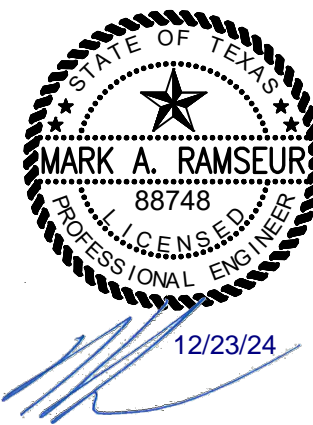
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MAP GRID: MM19

THE OTHER ONES FOUNDATION
760 BASTROP HWY SB
AUSTIN, TEXAS 78741

DECEMBER 2024

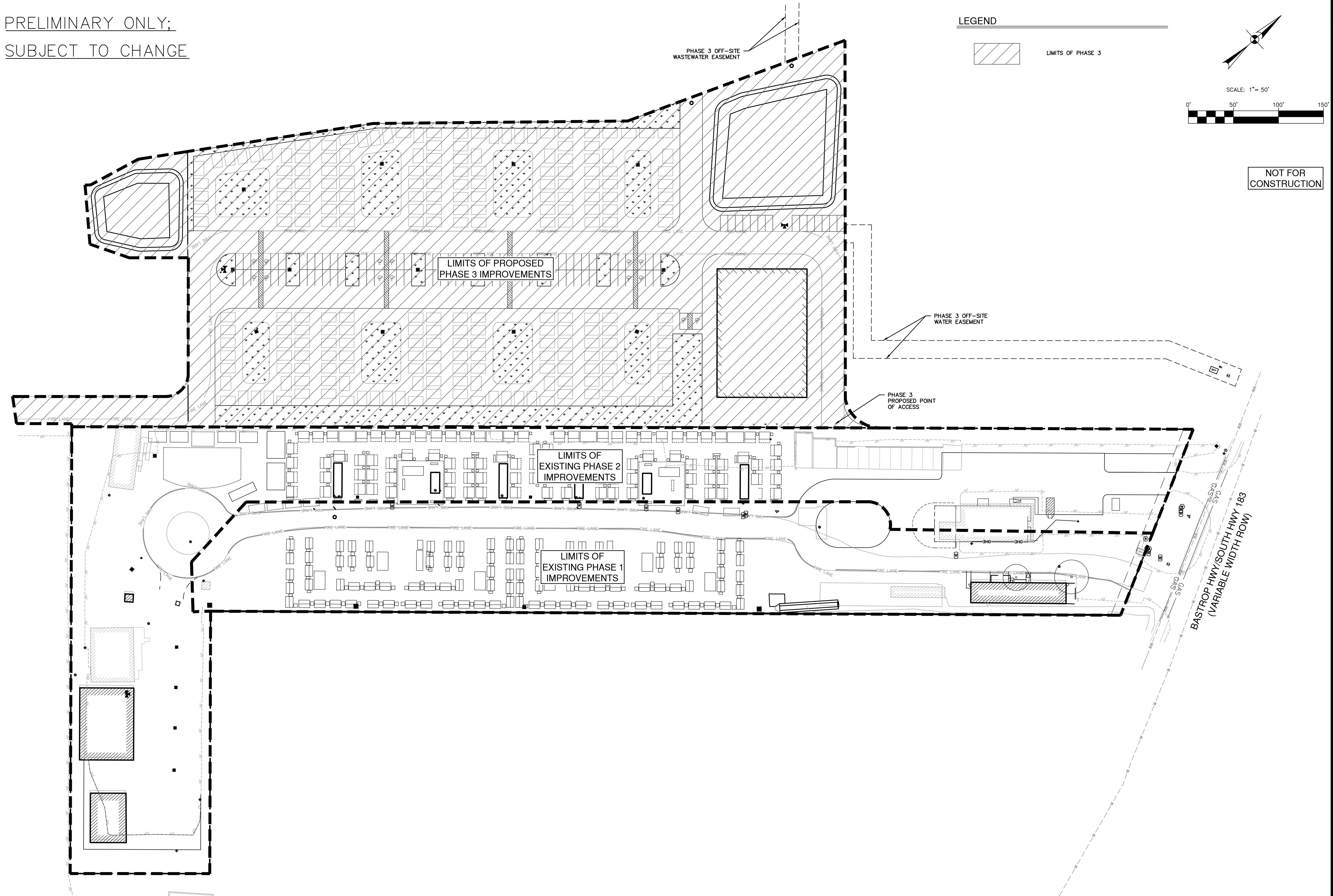


AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
10801 N MOPAC EXPY, BLDG 3, STE 200 | AUSTIN, TX 78759 | 512.454.8711
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028801



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CONSTRUCTION

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CONSTRUCTION



PAPE-DAWSON
ENGINEERS

AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS

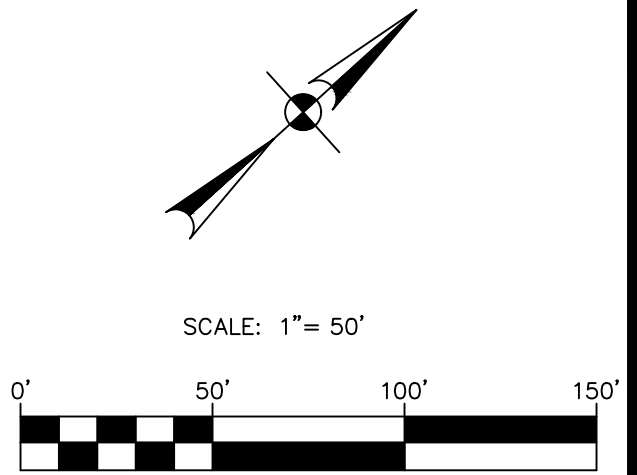
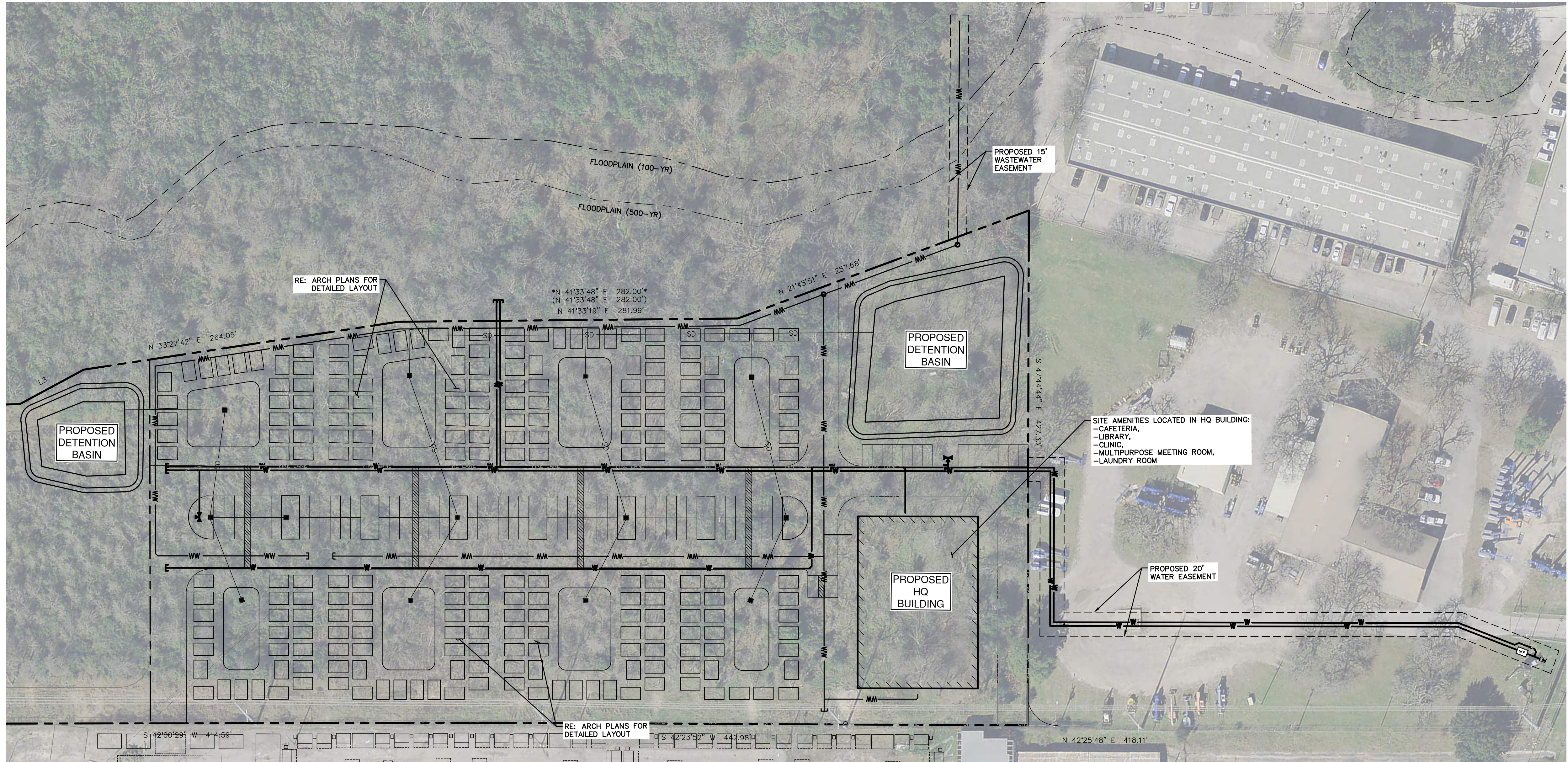
10801 N. MOPAC EXPY, BLDG 3, STE 200 | AUSTIN, TX 78759 | 512.454.8711

TBPE FIRM REGISTRATION #10028801 | TBPLS FIRM REGISTRATION #10028801

ESPERANZA II
626 BASTROP HWY
AUSTIN, TEXAS

JOB NO. 51146-03
DATE DECEMBER 2024
DESIGNER JW
CHECKED TR DRAWN SG
SHEET 02 of 06

PRELIMINARY ONLY;
SUBJECT TO CHANGE



NOT FOR
CONSTRUCTION



**PAPE-DAWSON
ENGINEERS**
AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
1800 N. MO-PAC EXPY., SUITE 200 | AUSTIN, TX 78759 | 512-564-8711
TYPE FIRM REGISTRATION #470 | TYPE FIRM REGISTRATION #10028601

PARKING:

PROVIDED ADA:

RESIDENT:	
ACCESSIBLE SPACE -	15
VAN ACCESSIBLE -	02
HQ BUILDING	
VAN ACCESSIBLE -	01
TOTAL ADA SPACES -	18 (03 VAN)

STRIPING/SIGNAGE NOTES:

- GUTTERS AND PAVEMENT DELINEATING THE FIRE LANE SHALL BE PAINTED RED WITH FOUR INCH (4) WHITE LETTERING STATING NO PARKING - FIRE LANE, FIRE LANE - TOW AWAY ZONE, OR SIMILAR WORDING. WORDING MAY NOT BE SPACED MORE THAN THIRTY (30) FEET APART.
- FIRE APPARATUS ACCESS ROADS SHALL BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "FIRE LANE - TOW AWAY ZONE" SHALL APPEAR IN FOUR INCH (4") WHITE LETTERS AND SHALL NOT EXCEED 30 FEET SPACING ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB. SEE DETAIL SHEET 1 OF 4.
- ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT UNLESS NOTED OTHERWISE: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS. REFERENCE DETAIL SHEET 1 OF 4 FOR STRIPED ISLANDS.
- ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
- ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION

GENERAL NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THESE PLANS IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATIONS OF ALL PROPOSED STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING CONSTRUCTION. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
- WORK IN THE STATE R.O.W. AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE TxDOT STANDARD SPECIFICATIONS, LATEST EDITION.
- CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
- ALL EXISTING MANHOLE COVERS, METER BOXES, VALVE CASTINGS, POST INDICATOR VALVES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTING, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK SHALL COMPLY WITH THE PROJECT GEOTECH REPORT; THE PROJECT SPECIFICATIONS, THE CURRENT APPLICABLE CITY, COUNTY AND/OR TxDOT "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND WATER AND SEWER PURVEYOR STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, SIGNS OR OTHER ITEMS INTENDED TO REMAIN.
- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
- CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN SIZE, GRADE, TYPE, AND ALIGNMENT AT ADJACENT ROADWAYS.
- WHERE PROPOSED CURB TIES TO EXISTING CURB, CONTRACTOR SHALL VERIFY CURB AND PAVEMENT ELEVATIONS PROVIDED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED AFTER CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING VEGETATION IN ALL DISTURBED AREAS BY PERIODIC WATERING OR OTHER APPROVED MEANS. REFERENCE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF ALL ITEMS COVERED WITHIN THE SCOPE OF WORK OF THESE PLANS.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER MONUMENTATION, CONTROL POINTS & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS SUBS OR EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- FIRE LANE RATED PAVEMENT APPROVAL BY TxDOT AND COA TO BE APPROVED PRIOR TO CONSTRUCTION.
- REFER TO PAVING AND GRADING PLAN, SHEET 06, FOR PRELIMINARY LIMITS OF PAVING.
- REFER TO SHEET A1.01 FOR PRELIMINARY BUILDING AND SITE LAYOUT

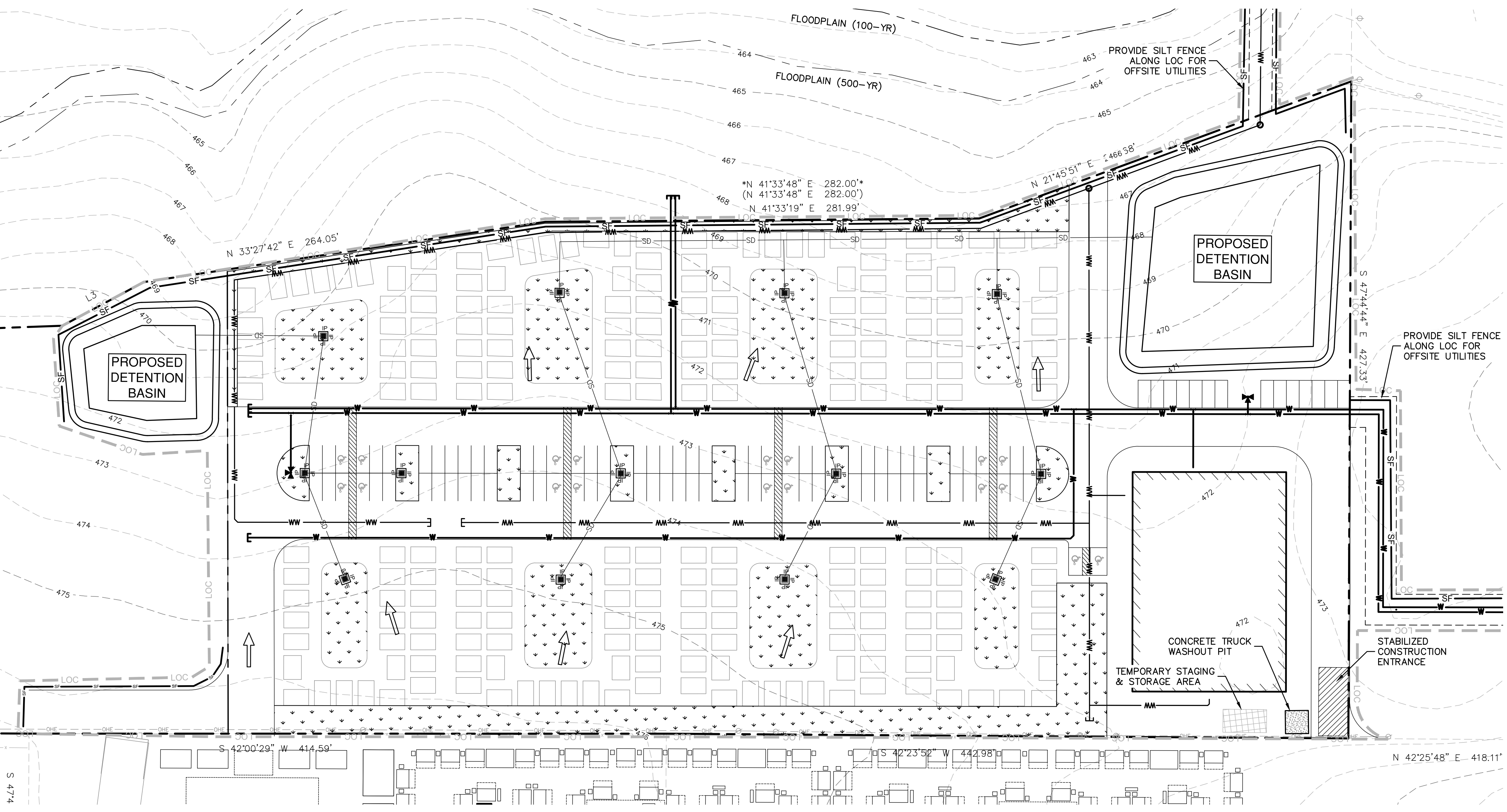
LEGEND

---	LOC	LIMITS OF CONSTRUCTION
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	EXISTING EDGE OF PAVEMENT
---	---	FIRE LANE
⊙		EXISTING UTILITY POLE
○		PROPOSED WASTEWATER MANHOLE
⊞		PROPOSED GRATE INLET
⊞		PROPOSED JUNCTION BOX W/ RISER
⊞		PROPOSED FIRE HYDRANT
*		PROPOSED WATER VALVE
▨		PROPOSED BUILDING

ESPERANZA II
626 BASTROP HWY
AUSTIN, TEXAS
OVERALL SITE PLAN

JOB NO. 51146-03
DATE DECEMBER 2024
DESIGNER JW
CHECKED TR DRAWN SG
SHEET 03 of 06

PRELIMINARY ONLY;
SUBJECT TO CHANGE



LEGEND

LOC	LIMITS OF CONSTRUCTION
---	PROPERTY BOUNDARY
---	EASEMENT LINE
---	EXISTING CONTOUR LINE
---	PROPOSED CONTOUR LINE
X	EXISTING FENCE
---	EXISTING WATER LINE
---	EXISTING WASTEWATER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
SF	EXISTING SILT FENCE
---	EXISTING BOLLARD
---	EXISTING WASTEWATER CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING GRATE INLET
---	EXISTING SIGN
---	EXISTING UTILITY POLE
---	EXISTING WATER METER
---	EXISTING WATER VALVE
---	EXISTING FLOW ARROW
---	PROPOSED FLOW ARROW
---	INLET TRAP PROTECTION (SEE DETAIL 628S)
---	ROCK BERM
---	STABILIZED CONSTRUCTION ENTRANCE/EXIT (TO BE FIELD LOCATED)
---	TEMPORARY STAGING AND STORAGE AREA (TO BE FIELD LOCATED)
---	CONCRETE TRUCK WASHOUT PIT (TO BE FIELD LOCATED)

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE



**PAPE-DAWSON
ENGINEERS**
AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
1801 N. MOPAC EXPY., SUITE 200 | AUSTIN, TX 78759 | 512-664-8711
TYPE FIRM REGISTRATION #470 | TYPE FIRM REGISTRATION #1006861

ESPERANZA II
626 BASTROP HWY
AUSTIN, TEXAS

EROSION & SEDIMENTATION CONTROL PLAN

JOB NO.	51146-03
DATE	DECEMBER 2024
DESIGNER	JW
CHECKED	TR DRAWN SG
SHEET	04 of 06

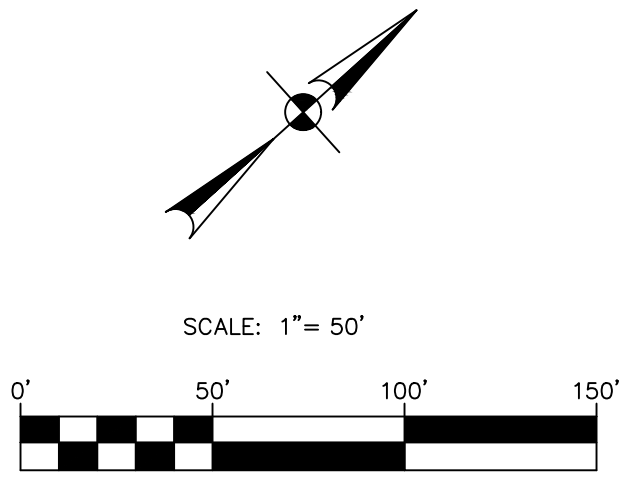
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PRELIMINARY ONLY;
SUBJECT TO CHANGE

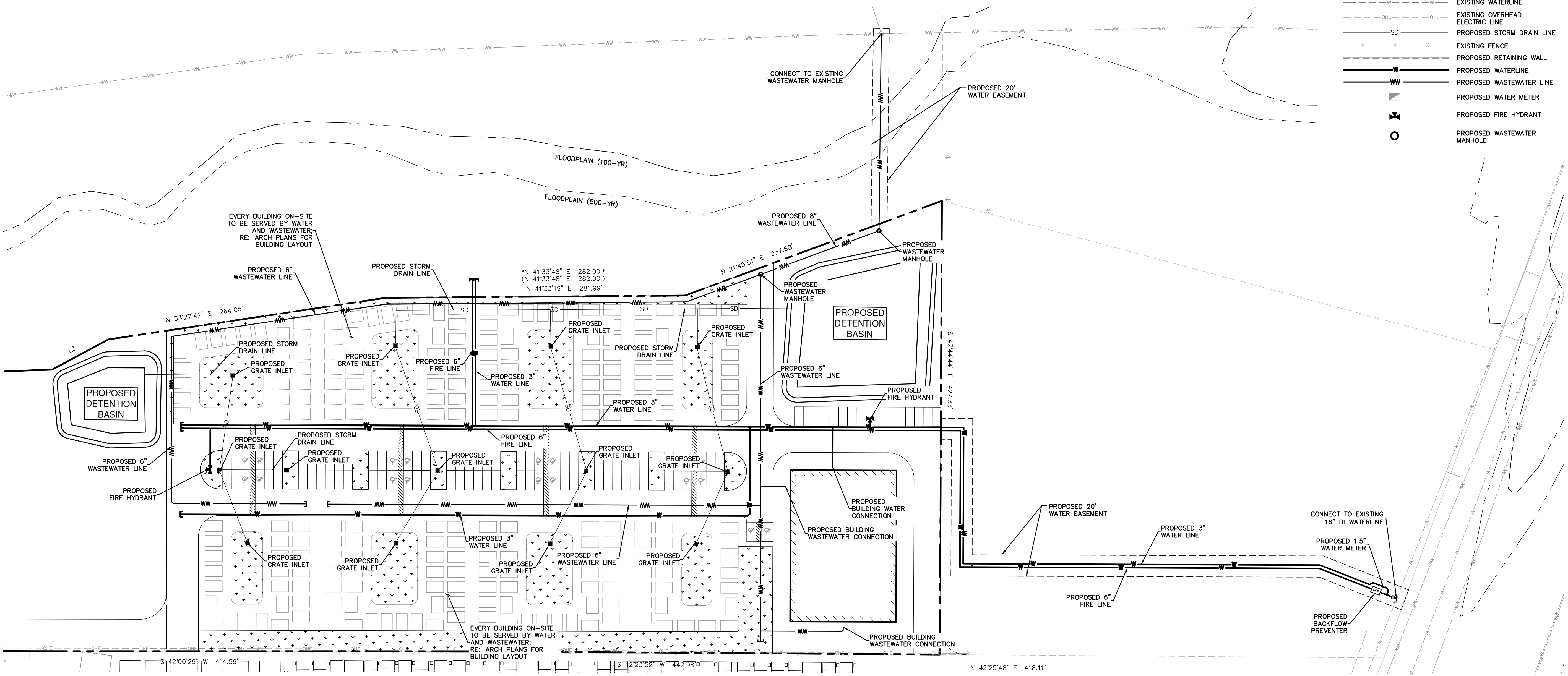
NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL 4", 6", AND 8" WATER LINES ARE AWWA C900 DR 14, CLASS 200 PVC PIPE UNLESS OTHERWISE NOTED.
- ALL WATER LINES AND SERVICE LINES WILL BE INSTALLED WITH TRACER TAPE.
- FIRE HYDRANTS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE DETAIL SHEET FOR PLACEMENT OF APPURTENANCES. FIRE HYDRANTS ASSEMBLY CONSISTS OF, BUT NOT LIMITED TO, 5/4" FIRE HYDRANT, 6" GATE VALVE, 6" D.I. FIRE LEAD.
- ALL HORIZONTAL AND VERTICAL WATER LINE BENDS, TEE'S AND DEAD END'S SHALL BE RESTRAINED TO THE WATER MAIN USING MECHANICAL JOINT RESTRAINT DEVICES AS APPROVED IN SPL WW-27-A. THE CALCULATED RESTRAINT LENGTH(S) SHALL BE INCLUDED AS CALL OUT NOTES IN THE PLAN VIEW AND/OR PROFILE, CALLED OUT FROM BEGINNING STATION TO AND STATION PER UCM SECTION 2.9.2.2.5.9.
- ALL WATERLINE P.I.'S BOTH HORIZONTAL AND VERTICAL SHALL BE ACHIEVED BASED UPON THE PIPE MANUFACTURER'S SPECIFIED MAXIMUM ALLOWABLE JOINT DEFLECTION. P.I.'S LESS THAN OR EQUAL TO 80% OF THE MANUFACTURER'S MAXIMUM SHALL BE CONSTRUCTED AS A SINGLE JOINT DEFLECTION. P.I.'S IN EXCESS OF 80% OF THE MANUFACTURER'S MAXIMUM ALLOWABLE JOINT DEFLECTION ANGLE SHALL BE CONSTRUCTED AS A SERIES OF EVENLY DISTRIBUTED DEFLECTIONS OVER MULTIPLE JOINTS, SO THAT NO SINGLE DEFLECTION IS GREATER THAN 80% OF THE MAXIMUM.
- WATER AND WASTEWATER CROSSING WHERE A NEW POTABLE WATERLINE CROSSES A NEW, NON-PRESSURE RATED WASTEWATER LINE, THE POTABLE WATER PIPE SEGMENT SHALL BE CENTERED OVER THE WASTEWATER LINE. THE WASTEWATER LINE SHALL BE LOCATED BELOW THE WATER LINE. AN ABSOLUTE MINIMUM VERTICAL SEPARATION DISTANCE OF TWO (2) FEET SHALL BE PROVIDED. IN ADDITION, WITHIN TEN (10) FEET HORIZONTALLY OF EITHER SIDE OF THE WATERLINE, THE WASTEWATER PIPE AND JOINT SHALL BE CONSTRUCTED WITH PIPE MATERIAL HAVING A MINIMUM PRESSURE RATING OF 160 PSI. ONE SEGMENT OF THE PRESSURE RATED WASTEWATER PIPE SHALL BE CENTERED ON THE WATER CROSSING. APPROPRIATE ADAPTERS SHALL BE USED TO CONNECTION THE PRESSURE RATED WASTEWATER PIPE WITH THE NON-PRESSURE RATED WASTEWATER PIPE.
- ALL WASTEWATER MANHOLES ARE 4 FT. DIA. CITY OF AUSTIN STANDARD AND COATED TO COA SPECIFICATIONS UNLESS OTHERWISE NOTED.
- MANDREL TESTING WILL BE REQUIRED ON ALL FLEXIBLE WASTEWATER PIPE PER TCEQ RULES.
- ALL PIPE MATERIAL TO BE SDR 26, WITH TRACER TAPE, SERVICES INCLUDED, UNLESS OTHERWISE NOTED.
- EXISTING CONTOUR INFORMATION SHOWN HERE ON THIS PLAN SHEET ARE SHOWN AT ONE (1) FOOT INTERVALS, THEY ARE COMPUTER GENERATED USING CITY OF AUSTIN DATA.
- NO WASTEWATER CLEANOUTS LOCATED IN SIDEWALK OR DRIVEWAY AREAS.
- ALL FILL AREAS SHALL BE COMPACTED TO 95% PRIOR TO UTILITY INSTALLATION.
- FOR ALL UTILITIES ENTERING BUILDINGS SEE MEP PLANS.
- FOR ALL UTILITY CONNECTIONS OFF OF MAIN, LINE SIZES ARE TO BE DETERMINED BY MEP AND PROVIDED TO CIVIL ENGINEER.
- NEED TO VERIFY WASTEWATER LINE DEPTH.



NOT FOR
CONSTRUCTION

LEGEND	
	LIMITS OF CONSTRUCTION
	PROPERTY LINE
	EXISTING WASTEWATER LINE W/ MANHOLE
	PROPOSED EASEMENT LINE
	EXISTING WATERLINE
	EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED STORM DRAIN LINE
	EXISTING FENCE
	PROPOSED RETAINING WALL
	PROPOSED WATERLINE
	PROPOSED WASTEWATER LINE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	PROPOSED WASTEWATER MANHOLE

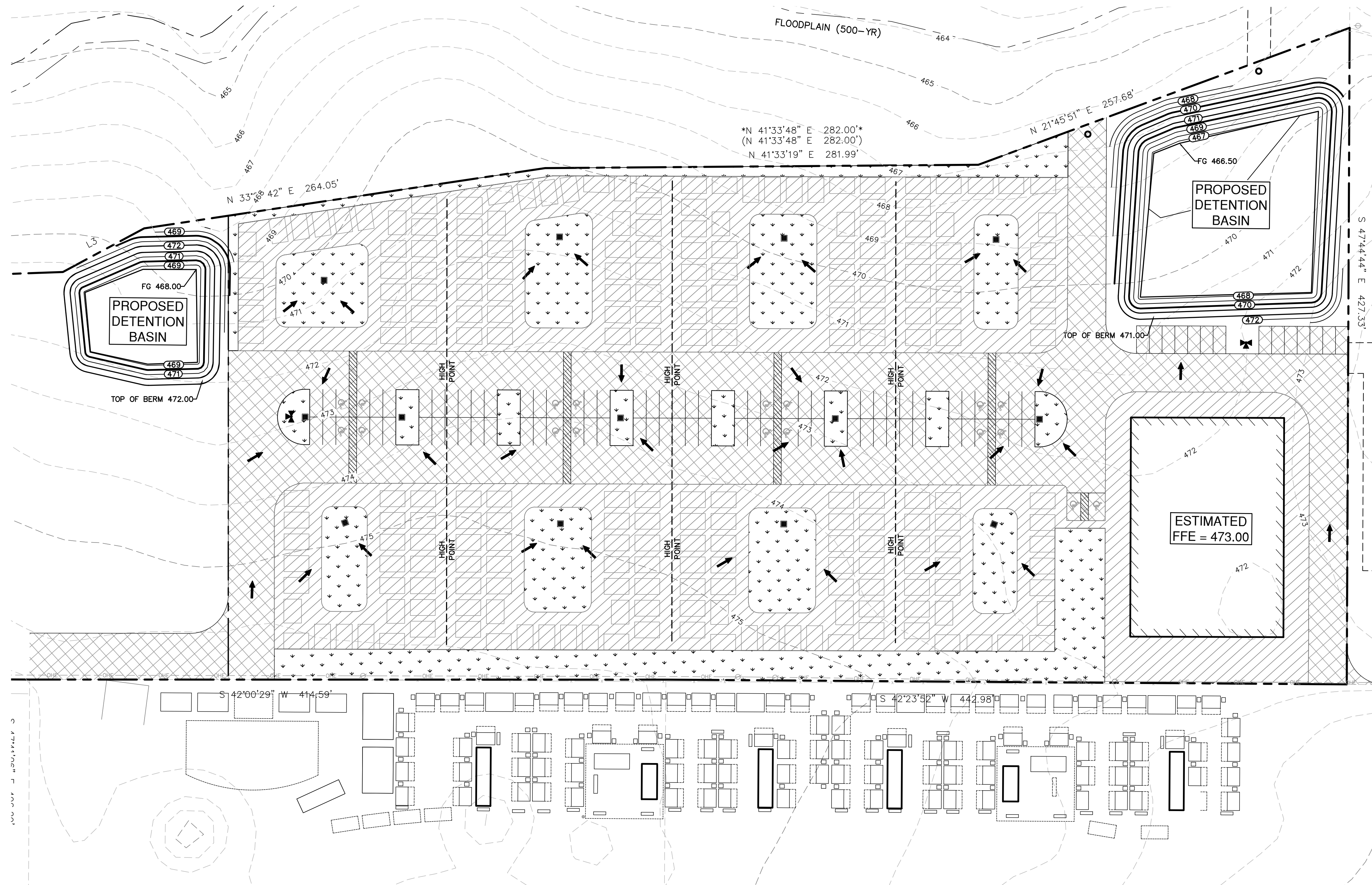


**PAPE-DAWSON
ENGINEERS**
AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
1801 N. MO-PAC EXPY., SUITE 200 | AUSTIN, TX 78758 | 512.664.8711
TPEL FIRM REGISTRATION #10028801

ESPERANZA II
626 BASTROP HWY
AUSTIN, TEXAS
UTILITY PLAN

JOB NO. 51146-03
DATE DECEMBER 2024
DESIGNER JW
CHECKED TR DRAWN SG
SHEET 05 of 06

PRELIMINARY ONLY;
SUBJECT TO CHANGE



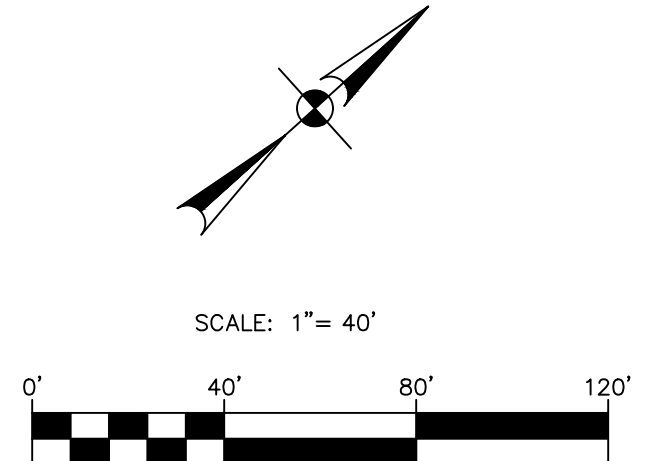
LEGEND	
	PROPERTY BOUNDARY
	PROPOSED SWALE
	LIMITS OF CONSTRUCTION
	EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED RETAINING WALL
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	DRAINAGE FLOW ARROW
	EXISTING GRADE ELEVATION
	FINISHED GROUND ELEVATION
	TOP OF PAVEMENT ELEVATION
	TOP OF SIDEWALK ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	LOW POINT ELEVATION
	LOW POINT IN PAVEMENT ELEVATION
	HIGH POINT
	PROPOSED HARDSCAPE AREA
	PROPOSED PAVING AREA
	PROPOSED LANDSCAPE/GREEN SPACE

NOT FOR
CONSTRUCTION

- NOTES
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. SLOPES OF ALL GRASS AREAS AROUND BUILDING FOUNDATION SHALL BE A MINIMUM OF 3% AWAY TO CAUSE POSITIVE DRAINAGE. DRAINAGE PATTERNS SHOWN ON GRADING SHEETS SHALL NOT BE OBSTRUCTED WITH LANDSCAPE MATERIAL.
 - CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FROM CONSTRUCTION OF THIS PROJECT.
 - CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT.
 - ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - RETAINING WALL ELEVATIONS AND DESIGN SHALL BE DETERMINED BY THE STRUCTURAL ENGINEER OF RECORD. RETAINING WALL CONSTRUCTION DRAWINGS WILL BE PROVIDED BY OTHERS DURING THE PERMITTING PROCESS FOR THE RETAINING WALL DESIGN.
 - ALL EXISTING MANHOLE COVERS, METER BOXES, VALVE CASTINGS, POST INDICATOR VALVES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE.
 - CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE-GROUND UTILITIES AND APPURTENANCES IN DRIVE AREAS.
 - ALL DISTURBED AREAS TO BE RE-VEGETATED.
 - PAVING AND HARDSCAPE DETAILS TO BE PROVIDED AT FINAL DESIGN.

Date: Dec 23, 2024, 3:06pm User ID: TREK
File: \\pape-dawson.com\user-pd\Projects\511146\301 Construction Documents\Civil\051146-03.dwg

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



NO.	REVISION	DATE

STATE OF TEXAS
MARK A. RAMSEY
88748
LICENSE
12/23/24

**PAPE-DAWSON
ENGINEERS**

AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
1801 N. MOORE AVE., SUITE 300 | AUSTIN, TX 78759 | 512-664-8711
TYPE FIRM REGISTRATION #470 | TYPE FIRM REGISTRATION #10028601

ESPERANZA II
626 BASTROP HWY
AUSTIN, TEXAS

GRADING & PAVING PLAN

JOB NO. 51146-03
DATE DECEMBER 2024
DESIGNER JW
CHECKED TR DRAWN SG
SHEET 06 of 06

SITE DATA
TOTAL AREA: 7.107 ACRES
MASTER PLAN AREA: 5.791 ACRES

BUILDING DATA
(1) 4 STORY HEADQUARTER W/ (100) UNITS
(225) NON-CONGREGATE UNITS
TOTAL UNITS: 325 UNITS
UNITS / ACRE: 56.1 UNITS

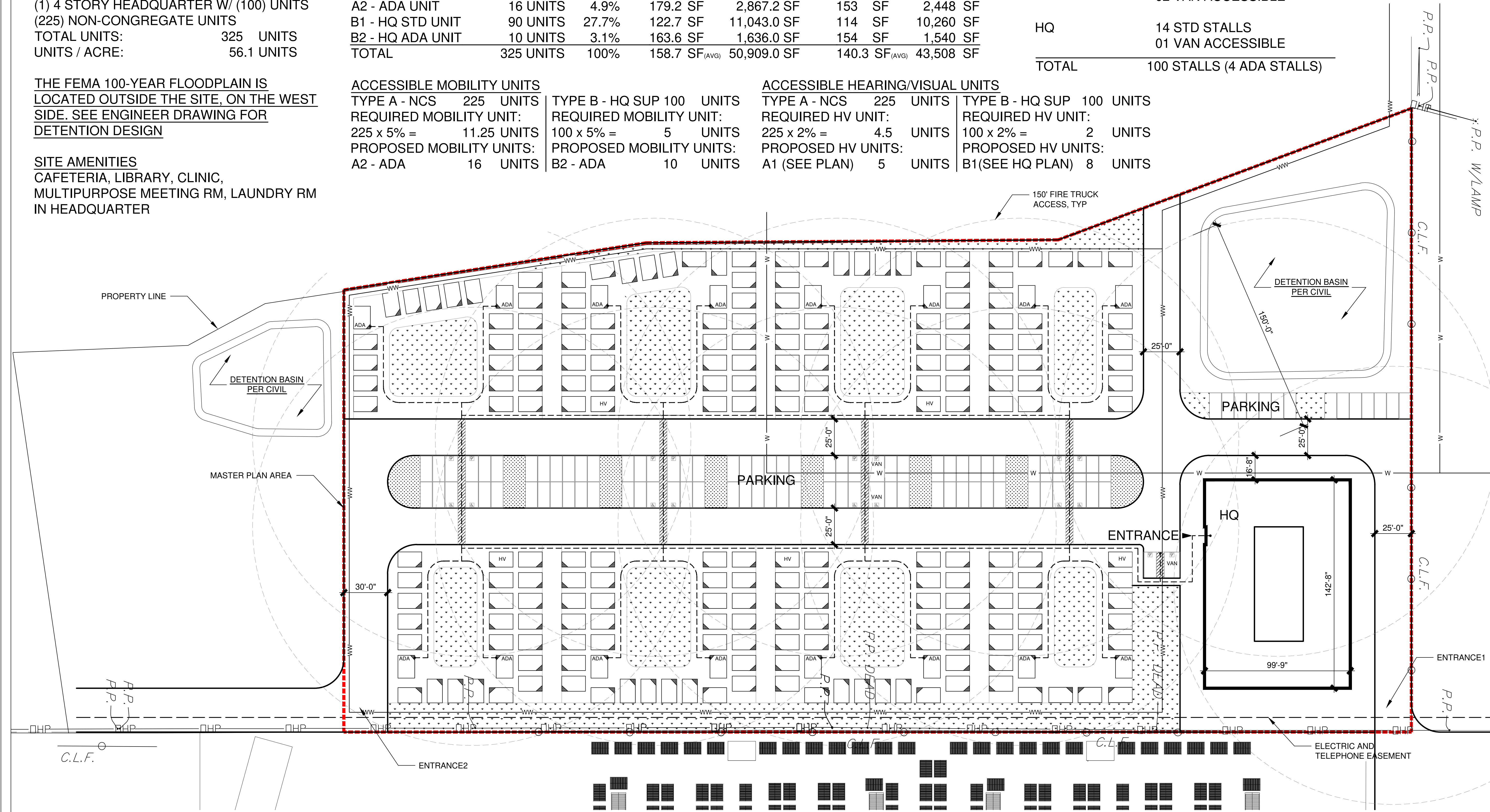
THE FEMA 100-YEAR FLOODPLAIN IS LOCATED OUTSIDE THE SITE, ON THE WEST SIDE. SEE ENGINEER DRAWING FOR DETENTION DESIGN

SITE AMENITIES
CAFETERIA, LIBRARY, CLINIC, MULTIPURPOSE MEETING RM, LAUNDRY RM IN HEADQUARTER

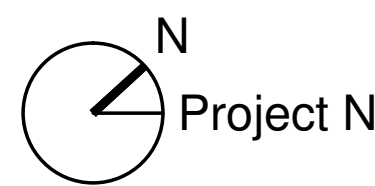
UNIT TABLE						
ONE BED / BATH UNIT AND 4-STORY HQ						
UNIT TYPE	# UNITS	# %	UNIT GROSS	TOTAL SF	UNIT INTERIOR	TOTAL SF
A1 - STD UNIT	209 UNITS	64.3%	169.2 SF	35,362.8 SF	140 SF	29,260 SF
A2 - ADA UNIT	16 UNITS	4.9%	179.2 SF	2,867.2 SF	153 SF	2,448 SF
B1 - HQ STD UNIT	90 UNITS	27.7%	122.7 SF	11,043.0 SF	114 SF	10,260 SF
B2 - HQ ADA UNIT	10 UNITS	3.1%	163.6 SF	1,636.0 SF	154 SF	1,540 SF
TOTAL	325 UNITS	100%	158.7 SF _(AVG)	50,909.0 SF	140.3 SF _(AVG)	43,508 SF

ACCESSIBLE MOBILITY UNITS				ACCESSIBLE HEARING/VISUAL UNITS			
TYPE A - NCS	225 UNITS	TYPE B - HQ SUP	100 UNITS	TYPE A - NCS	225 UNITS	TYPE B - HQ SUP	100 UNITS
REQUIRED MOBILITY UNIT:				REQUIRED HV UNIT:			
225 x 5% = 11.25 UNITS				225 x 2% = 4.5 UNITS			
PROPOSED MOBILITY UNITS:				PROPOSED HV UNITS:			
A2 - ADA	16 UNITS	B2 - ADA	10 UNITS	A1 (SEE PLAN)	5 UNITS	B1(SEE HQ PLAN)	8 UNITS

PARKING	
NO MINIMUM PARKING REQUIREMENTS	
RESIDENT	68 STANDARD STALLS 15 ACCESSIBLE 02 VAN ACCESSIBLE
HQ	14 STD STALLS 01 VAN ACCESSIBLE
TOTAL	100 STALLS (4 ADA STALLS)



01 MASTER PLAN
A1.01 SCALE : 1/32" = 1'-0"



NOT FOR CONSTRUCTION
Concept drawings that are not based on a CAD file of the survey, for project feasibility study only

LEGEND		LEGEND (EXISTING SITE ELEMENT)	
---●---	ACCESSIBLE PATH	C.L.F.	CHAIN LINK FENCE
[Unit Symbol]	A1 - STD UNIT	P.P.	POWER POLE
[HV Symbol]	A1 - HV UNIT	-OHP-	OVERHEAD ELECTRIC
[ADA Symbol]	A2 - ADA UNIT		

EXHIBIT A

County: Travis
Highway: IH 35
Limits: Holly Street to US 290 West/SH 71
CSJ: 0015-13-428
RCSJ: 0015-13-435

PROPERTY DESCRIPTION FOR PARCEL P00077721

FIELD NOTES FOR A 7.107 ACRE (309,562 SQUARE FOOT) PARCEL OF LAND IN THE SANTIAGO DEL VALLE SURVEY, ABSTRACT NO. 24, TRAVIS COUNTY, TEXAS; BEING ALL OF A CALLED 7.104 ACRE TRACT OF LAND DESCRIBED IN EXHIBIT "B" AS CONVEYED TO BERGSTROM STORAGE, LLC BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2018029726 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS; SAID 7.107 ACRE PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2-inch iron rod found inside of a 2-inch pipe (NAD-83, Central Zone Surface Coordinates: N: 10,059,217.34, E: 3,133,032.69) on the northwest line of a called 4.0 acre tract of land as conveyed to State of Texas by instrument recorded in Volume 871, Page 623 of the Deed Records of Travis County, Texas, at the most easterly corner of the above described Bergstrom Tract, and at the south corner of Lot 1, THE ROGERS SUBDIVISION, a subdivision recorded in Book 85, Page 55C of the Plat Records of Travis County, Texas, for the most easterly corner and **POINT OF BEGINNING** of the herein described tract, from which a 1/2-inch iron rod found on the southwest right-of-way line of U.S. Highway 183 (width varies), at the east corner of the remainder of said Lot 1 and at the north corner of the remainder of said State of Texas 4.0 acre tract, bears N 42°25'48" E a distance of 418.11 feet;

THENCE, with the southeast line of said Bergstrom Tract and the northwest line of said State of Texas 4.0 acre tract, **SOUTH 42°23'52" WEST** a distance of **442.98 feet** to 1/2-inch iron rod found at the west corner of said State of Texas 4.0 acre tract, and at the north corner of a called 3.0 acre tract of land as conveyed to State of Texas by instrument recorded in Volume 2270, Page 238 of the Deed Records of Travis County, Texas, for an angle point;

THENCE, with the southeast line of said Bergstrom Tract and the northwest line of said State of Texas 3.0 acre tract, **SOUTH 42°00'29" WEST** a distance of **414.59 feet** to a mag nail found at the west corner of said State of Texas 3.0 acre tract, and at the north corner Lot 1, PALM HARBOR, a subdivision recorded in Book 82, Page 239-240 of the Plat Records of Travis County, Texas, for an angle point;

THENCE, with the southeast line of said Bergstrom Tract and the northwest line of said Lot 1, PALM HARBOR, **SOUTH 42°18'32" WEST** a distance of **61.15 feet** to a 1/2-inch iron rod with cap stamped "BURY & PARTNERS" found at the south corner of said Bergstrom Tract, and at the east corner of Lot 26, AMENDED PLAT OF FRONTIER AT MONTANA, a subdivision recorded in Document Number 200600392 of the Official Public Records of Travis County, Texas, for the south corner of the herein described tract;

THENCE, departing the northwest line of said Lot 1, PALM HARBOR, with the southwest line of said Bergstrom Tract and the northeast line of said Lot 26, AMENDED PLAT OF FRONTIER AT MONTANA, **NORTH 56°06'26" WEST** a distance of **263.26 feet** to a 1/2-inch iron rod with cap stamped "BURY & PARTNERS" found at the west corner of said Bergstrom Tract, and at the south corner of a called 19.127 acre tract of land described in Exhibit "A" as conveyed to City of Austin by Special Warranty Deed recorded in Document Number 2011192072 of the Official Public Records of Travis County, Texas, for the west corner of the herein described tract, from which a disturbed 1/2-inch iron rod found on the northeast line of said Lot 26, at the west corner of said City of Austin Tract, bears **NORTH 56°07'48" WEST** a distance of 510.82 feet;

THENCE, departing the northeast line of said Lot 26, with the northwest line of said Bergstrom Tract and the southeast line of said City of Austin Tract, the following five (5) courses:

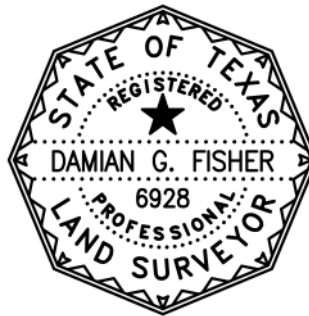
- 1) **NORTH 39°56'45" EAST** a distance of **120.01 feet** to a 1/2-inch iron rod with cap stamped "BURY & PARTNERS" found for angle point;
- 2) **NORTH 13°46'09" EAST** a distance of **60.05 feet** to a 1/2-inch iron rod with cap stamped "BURY & PARTNERS" found for angle point;
- 3) **NORTH 33°27'42" EAST** a distance of **264.05 feet** to a 1/2-inch iron rod with cap stamped "BURY & PARTNERS" found for angle point;
- 4) **NORTH 41°33'19" EAST** a distance of **281.99 feet** to a 1/2-inch iron rod with cap stamped "BURY & PARTNERS" found for angle point; and
- 5) **NORTH 21°45'51" EAST** a distance of **257.68 feet** to a 1/2-inch iron rod found at the north corner of said Bergstrom Tract, at an easterly corner of said City of Austin Tract, at the west corner of said Lot 1, and at the south corner of Lot 2, both of said THE ROGER SUBDIVISION, for the north corner of the herein described tract;

THENCE, with the northeast line of said Bergstrom Tract and the southwest line of said Lot 1, THE ROGERS SUBDIVISION, **SOUTH 47°44'44" EAST** a distance of **427.33 feet** to the **POINT OF BEGINNING** and containing 7.107 acres (309,562 square feet) of land, more or less.

I hereby certify that these notes were prepared from a survey made on the ground by BGE Inc., under my supervision on July 19, 2023 and are true and correct to the best of my knowledge. Bearing orientation is based on the Texas State Plane Coordinate System, NAD 83, Texas Central Zone 4203. Distances shown hereon are in surface and can be converted to grid by using the combined scale factor = 1.00011. A survey plat accompanies this description.



Damian G. Fisher RPLS No. 6928
BGE, Inc.
101 West Louis Henna Blvd, Suite 400
Austin, Texas 78728
Telephone: (512) 879-0400
TBPLS Licensed Surveying Firm No. 10106502

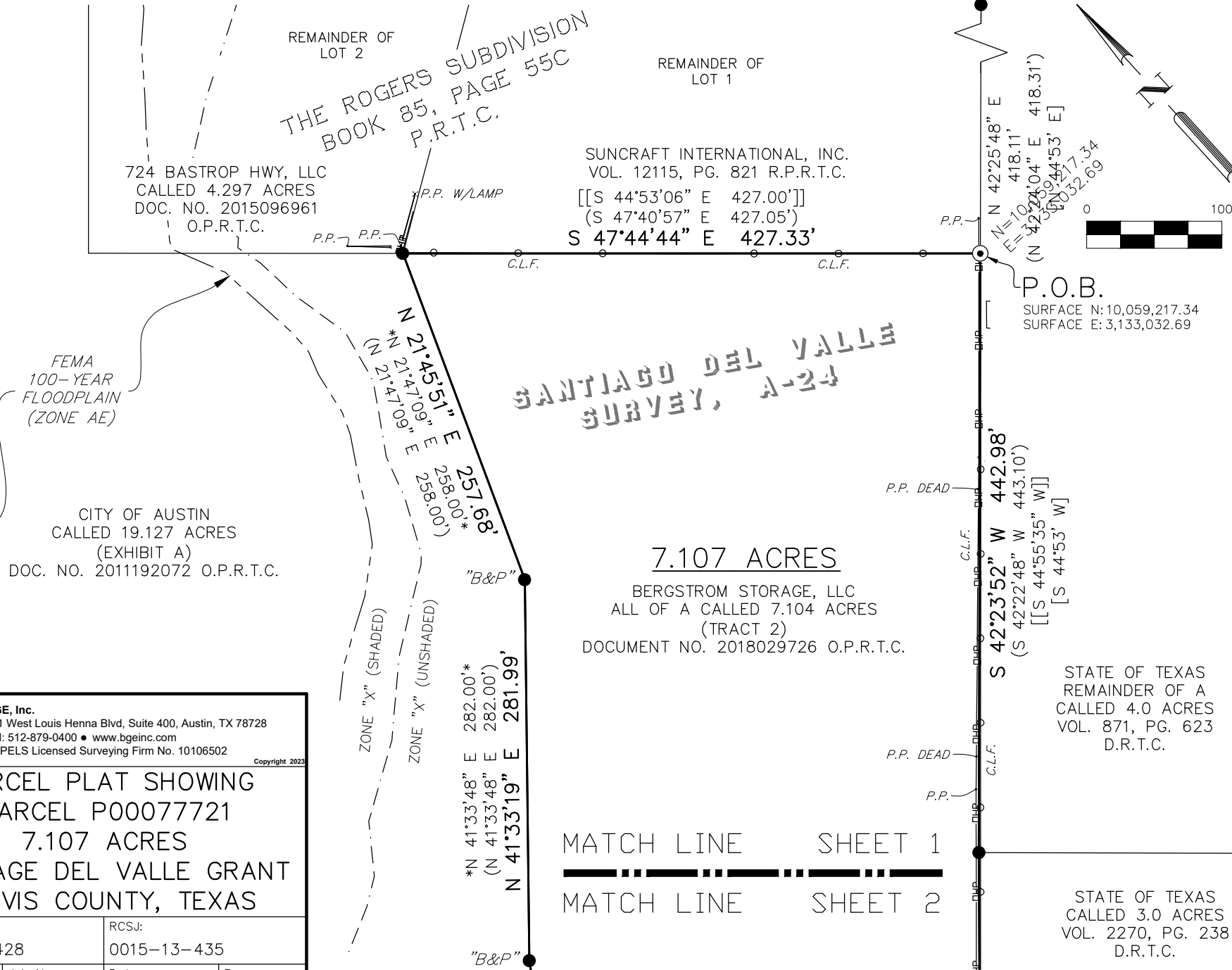


7/31/2023

Date

Client: Texas Department of Transportation
Date: July 31, 2023
Job No: 7965-01

SKETCH TO ACCOMPANY LEGAL DESCRIPTION



BGE, Inc.
101 West Louis Henna Blvd, Suite 400, Austin, TX 78728
Tel: 512-879-0400 • www.bgeinc.com
TBPELS Licensed Surveying Firm No. 10106502

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PARCEL PLAT SHOWING
PARCEL P00077721
7.107 ACRES
SANTIAGO DEL VALLE GRANT
TRAVIS COUNTY, TEXAS

CSJ: 0015-13-428		RCSJ: 0015-13-435	
Scale: 1"=100'	Job No.: 7965-01	Date: 07/31/2023	Page: 4 of 7

SKETCH TO ACCOMPANY LEGAL DESCRIPTION

LINE TABLE

NUMBER	BEARING	DISTANCE
L1	S 42°18'32" W	61.15'
L2	N 39°56'45" E	120.01'
L3	N 13°46'09" E	60.05'

RECORD LINE TABLE

NUMBER	BEARING	DISTANCE
L1	(S 42°08'49" W)	(61.03')
	<S 44°03'22" W>	
L2	(N 39°55'01" E)	(120.00')
	N 39°55'01" E	*120.00'*
L3	(N 13°48'35" E)	(60.00')
	N 13°48'35" E	*60.00'*

LEGEND

C.L.F.	CHAIN LINK FENCE
CONC.	CONCRETE
DOC.	DOCUMENT
D.R.T.C.	DEED RECORDS OF TRAVIS COUNTY
NO.	NUMBER
O.P.R.T.C.	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY
PG.	PAGE
P.O.B.	POINT OF BEGINNING
P.P.	POWER POLE
P.R.T.C.	PLAT RECORDS OF TRAVIS COUNTY
R.O.W.	RIGHT-OF-WAY
R.P.R.T.C.	REAL PROPERTY RECORDS OF TRAVIS COUNTY
VOL.	VOLUME
()	RECORD INFO., DOC. NO. 2018029726 O.P.R.T.C.
[]	RECORD INFO., VOL. 871, PG. 623 D.R.T.C.
{ }	RECORD INFO., VOL. 2270, PG. 238 D.R.T.C.
< >	RECORD INFO., BOOK 82, PG. 239-240 P.R.T.C.
* *	RECORD INFO., DOC. NO. 2011192072 O.P.R.T.C.
(())	RECORD INFO., DOC. NO. 200600392 O.P.R.T.C.
[[]]	RECORD INFO., BOOK 85, PG. 55C P.R.T.C.
▲	FOUND MAG NAIL
⊙	FOUND 1/2" IRON ROD INSIDE OF A 2" PIPE
●	FOUND 1/2" IRON ROD
● "B&P"	FOUND 1/2" IRON ROD W/CAP "BURY & PARTNERS"
—DHT—	OVERHEAD TELEPHONE
—DHP—	OVERHEAD ELECTRIC
—○—	CHAIN LINK FENCE



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 Tel: 512-879-0400 • www.bgeinc.com
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 TRAVIS COUNTY, TEXAS

CSJ: 0015-13-428		RCSJ: 0015-13-435	
Scale: 1"=100'	Job No.: 7965-01	Date: 07/31/2023	Page: 6 of 7

G:\TXC\Projects\TxDOT\7965-01-Aus_District-Wide_Misc_Survey\SV\04_Finals\Drawings\10 - 7acre tract\7965-01_7.107Ac_LTS.dwg, 7/31/2023 9:56 AM, Stephen Barger

SKETCH TO ACCOMPANY LEGAL DESCRIPTION

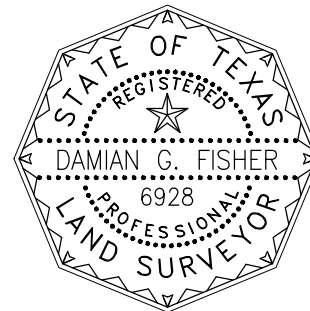
GENERAL NOTES

1. BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD83. DISTANCES SHOWN HEREON ARE IN SURFACE AND CAN BE CONVERTED TO GRID BY USING THE COMBINED SCALE FACTOR = 1.00011
2. THE PROPERTY LIES IN UNSHADED ZONE "X" (UNSHADED) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DELINEATED ON THE FLOOD INSURANCE RATE MAPS FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS, MAP NUMBERS 48453C0605K AND 48453C0610L, BOTH REVISED JANUARY 22, 2020. ANY FLOODPLAIN BOUNDARIES SHOWN HEREON ARE APPROXIMATE AND ARE NOT DEPICTED AS A RESULT OF AN ON THE GROUND SURVEY.
3. THIS SURVEY WAS MADE IN RELIANCE UPON THAT CERTAIN COMMITMENT FOR TITLE INSURANCE ISSUED BY NORTH AMERICAN TITLE INSURANCE COMPANY UNDER G.F. NO. 60704-23-14234, DATED EFFECTIVE MAY 21, 2023 AND ISSUED ON MAY 30, 2023.

RESTRICTIVE COVENANT AND EASEMENT NOTES:

1. RESTRICTIVE COVENANTS OF RECORD IN VOLUME 16, PAGE 82, MAP RECORDS, TRAVIS COUNTY, TEXAS, DO NOT AFFECT THE SUBJECT TRACT, RESTRICTIVE COVENANTS OF RECORD IN CLERK'S FILE NO. 2018149845, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, DO AFFECT THE SUBJECT TRACT.
- 10g. TERMS AND CONDITIONS OF THAT CERTAIN EASEMENT ESTATE CREATED BY THAT CERTAIN SPECIAL WARRANTY DEED DATED DECEMBER 28, 2011, AND RECORDED IN CLERK'S FILE NO. 2011192072, TRAVIS COUNTY, TEXAS, DO AFFECT THE SUBJECT TRACT, BUT MAY HAVE BEEN TERMINATED TEN YEARS AFTER THE DATE OF EXECUTION OF THE ABOVE MENTIONED WARRANTY DEED.
- 10f. ALL MATTERS AS SHOWN ON THE MAP/PLAT RECORDED IN VOLUME 16, PAGE 82, MAP RECORDS, TRAVIS COUNTY, TEXAS, DO NOT AFFECT THE SUBJECT TRACT.

I hereby certify that this survey was made on the ground by BGE, Inc. under my supervision on May 12, 2022 and is true and correct to the best of my knowledge. There are no visible encroachments, except as shown hereon.



7/31/2023

DAMIAN G. FISHER RPLS NO. 6928
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101 WEST LOUIS HENNA BLVD., SUITE 400
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TELEPHONE: (512) 879-0400



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